

BEST COAST HOME INSPECTIONS

Confidential Inspection Report



, Oxnard , CA 93035

Inspection prepared for: Sample Sample
Real Estate Agent: Support - Home Inspector Pro

Date of Inspection: 5/5/2026 Time: 9am

Age of Home: 2007 Size: 3100 sqft

Weather: Cool

Inspector: TK Erwin CPI

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BEST COAST HOME INSPECTIONS

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Introduction

Congratulations and thank you for choosing Best Coast Home Inspections.

Please carefully review this inspection report and remember that I am still available to answer any questions that you may have throughout the entire closing process.

This report is based on an inspection of the visible portion of the structure and follows INTERNACHI Standards of Practice for a general inspection. The inspection may be limited by vegetation, possessions and accessibility. This report will focus on safety and function, not current code. This report identifies specific non-code and non-cosmetic concerns that I believed needed further investigation or repair. For your safety and liability purposes, I recommend that licensed contractors or qualified tradesmen evaluate and repair any critical concerns and defects.

Note: Anything written in **green font** is general information and recommendations. Anything written in **blue font** means that it should be considered a safety hazard, defect, or deficiency. All critical findings are included in the Report Summary at the end of the report.

Remember that this inspection report is a snapshot in time. I highly recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property using this report as a guide.

Thank you again for choosing Best Coast Home Inspections, I wish you all the best. Sincerely,

T.K. Erwin

Best Coast Home Inspections

Scope of Work

You have contracted with Best Coast Home Inspections to perform a general inspection in accordance with the Standards of Practice established by the National Association of Certified Home Inspectors, a copy of which is available upon request. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which are clearly indicated in the standards. The inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person and certainly not intended to identify insignificant deficiencies.

Most structures built after 1978 are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented and therefore public, information about several environmental contaminants that could be of concern to your tenants all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood destroying organisms, pests and rodents, molds, microbes, bacterial organisms and electromagnetic radiation to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health, safety and environmental hygiene are deeply personal responsibilities and you should make sure that you are familiar with any contaminant that could affect the interior environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at www.epa.gov/iaq/pubs/insidest.htm.

Mold is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread on the air, land, and feed on organic matter. It has been in existence throughout human history, and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, others, are characterized as pathogens that can have adverse health effects on large segments of the population such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxigenic that represent a serious health threat. All molds flourish in the presence of moisture and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. Some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with un-vented bathroom exhaust fans and return air compartments that draw outside air. All of these areas we inspect very conscientiously. Nevertheless, mold can appear seemingly spontaneously, so you should be prepared to monitor the building and particularly those areas that we identified.

It is equally important to maintain clean air supply ducts and to change filters as soon as they become soiled because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis which is beyond the scope of our inspection. As a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants particularly if you or any member of your family suffers from allergies or asthma. You can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture and Your Home," by visiting their web site at: <http://www.epa.gov/iaq/molds/moldguide.html/>, from which it can be downloaded.

Asbestos is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greek and Romans in the first century and has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. It can also be found in a wide variety of products too numerous

to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. A single asbestos fiber is said to be able to cause cancer and is therefore a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. We are not specialists and regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

Radon is a gas that results from the natural decay of radioactive materials within the soil and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and dispersed into the atmosphere. It cannot be detected by the senses and its existence can only be determined by sophisticated instruments and laboratory analysis, which is beyond the scope of our service. You can learn more about radon and other environmental contaminants and their affects on health, by contacting the EPA or a similar state agency. It would be prudent for you to enquire about any high radon readings that might be prevalent in the general area surrounding your property.

Lead poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. The word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it does not constitute a viable health threat, but as a component of potable water pipes it would certainly be a health-hazard. Although rarely found in use, lead could be present in any structure built as recently as the nineteen forties. Lead was an active ingredient in many household paints of which can be released in the process of sanding and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments. There are other environmental contaminants, some of which we have already mentioned and others that may be relatively benign. We are not environmental hygienists and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant. We recommend that you schedule whatever specialist inspections that may deem prudent during your inspection contingency period.

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein.

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Inspection Details

1. Attendance

In Attendance: Client present

2. Home Type

Home Type: Single Family Home

3. Occupancy

Occupancy: Occupied - Furnished • BBQ, fire pit, water softener, dock and boat slip not included in the general visual inspection.

Grounds

General Comments

Informational Conditions

Water can be destructive and foster conditions that are detrimental to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of an subterranean drainage system, and if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. The sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have during our limited visit, however we have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold like substances that can have an adverse affect on health.

Moisture intrusion is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, if the interior floors of a residence are at the same elevation or lower than the exterior grade we cannot rule out the potential for moisture intrusion and would not endorse any such areas. Nevertheless, if such conditions do exist, or if you or any member of your family suffers from allergies or asthma, you should schedule a specialist inspection.

In addition, many specifics as it relates to deck and deck safety are addressed during the permit process. Use/spacing and sizing of ledger board attachments, bolts or screws, is decided based on a number of calculations that are beyond the scope of a general inspection. Therefore, we recommend researching disclosures for any permits attached to any deck to verify correct build.

1. Driveway and Walkway Condition

Materials: Concrete walkway noted. • Block / Brick sidewalk noted.

Observations:

- Minor settlement, or "hairline" cracks in driveways and walkways, are normal for properties of any age. They should, however, be monitored for expansion and sealed as necessary.
- Moss from roof runoff and drainage on driveway observed at the time of the inspection. Recommend cleaning up and monitoring for appropriate drainage.



Miss



Minor cracking



minor cracking



minor cracking

2. Grading

Observations:

- Lot grading and drainage have a significant impact on the building, simply because of the direct and indirect damage that moisture can have on the foundation. It is very important, therefore, that surface runoff water be adequately diverted away from the home. Lot grading should slope away and fall a minimum of 6 inches per 10 feet around the perimeter of the building. In practical terms, the ground should slope downward away from the house at this minimum rate to ensure proper drainage and avoid water pooling near the foundation, which can cause issues.
- While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector cannot always accurately predict this performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather. Inspection of foundation performance and water handling systems, therefore, is limited to visible conditions and evidence of past problems.

3. Grounds Electrical

Observations:

- Use of extension cords in an apparent permanent installation observed at BBQ at the time of the inspection. This is a defect and safety concern. Extension cords are recommended for temporary use only and constitute a fire hazard in a permanent application. Recommend removal of all extension cords in the backyard.
- Exterior patio BBQ outlet observed as non functional at the time of the inspection. Recommend further evaluation by licensed electrician.



no function at inspection

4. GFCI

Observations:

- Missing Ground Fault Circuit Interrupter (**GFCI**) protection in the home at the time of inspection. Although GFCI protection may not have been required at the time the home was built, for safety reasons, consider upgrading the electrical system to include GFCI protection at the following locations:
 - Bathrooms
 - All exterior
 - Garages
 - Crawlspace (at or below grade)
 - Kitchens
 - Laundry rooms
 - Within 6 feet of water
- Exterior outlet observed as missing cover at the time of the inspection. We recommend electrician to install covers on all outdoor outlets.
- Exterior deck, GFCI non-functional at the time of the inspection. Recommend evaluation/remediation by qualified electrician.



non functinal GFCI and broken cover - patio

5. Main Gas Valve Condition

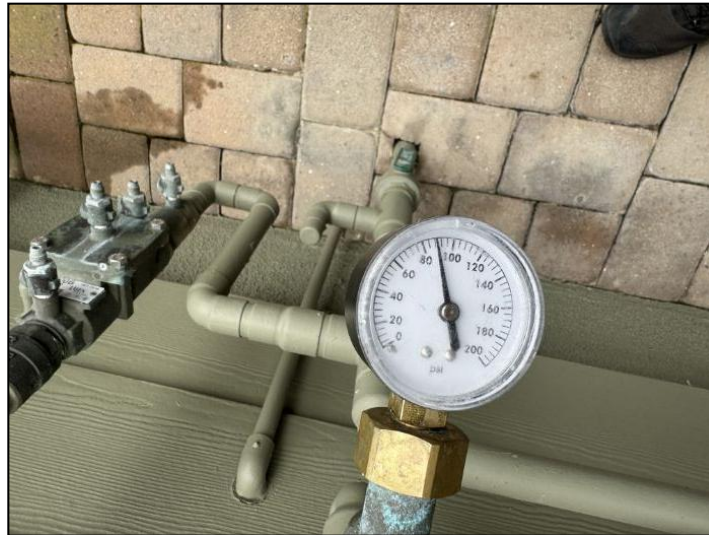
Materials: Exterior of structure.



6. Water Pressure

Observations:

- 90 psi water pressure noted at the time of the inspection. Recommend hiring licensed professional and adjusting the water pressure down to 70psi to prevent damage to pipes.



90

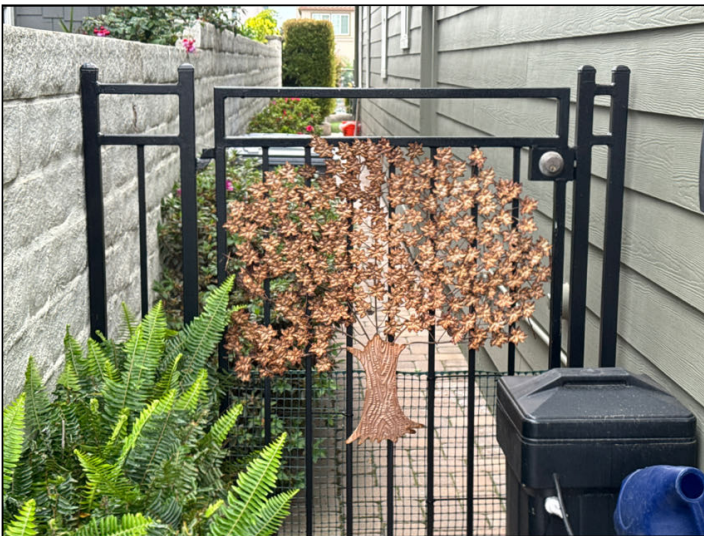
7. Sewer Scope

Observations:

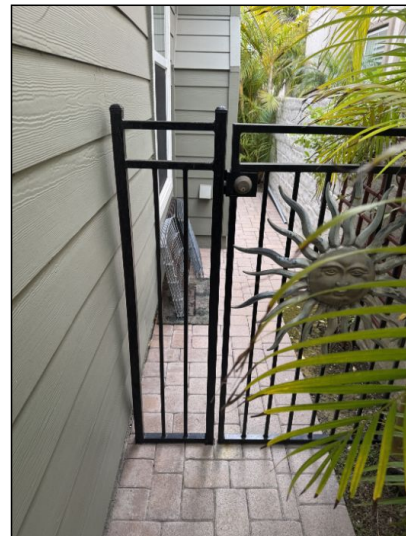
- Sewer line— Whenever ownership is changing hands we recommend a sewer scope. This separate inspection will show the condition of the buried sewer line from the home to the city main. Items such as tree roots, broken drain pipes, and other obstructions will be revealed. Recommend license professional.

8. Gate Condition

Materials: Wrought iron



Locked



locked

9. Patio and Porch Condition

Observations:

- Rust on bolts observed. Recommend monitoring and necessary remediation to prevent rust deterioration.
- Joist hanger for patio structure observed as missing a fastener at the time of the inspection. Every hole should be used in the installation of joist hangers. Recommend qualified contractor attach appropriate fastener.



rust on bolts



missing fastener on patio

Exterior Areas

General Comments

Informational Conditions

With the exception of townhomes, condominiums, and residences that are part of a planned urban development, or PUD, we evaluate the following exterior features: driveways, walkways, fences, gates, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. However, we do not evaluate any detached structures, such as storage sheds and stables, and we do not water test or evaluate subterranean drainage systems or any mechanical or remotely controlled components, such as driveway gates. Also, we do not evaluate landscape components, such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. In addition, we do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this could only be confirmed by a geological evaluation of the soil.

1. Siding Condition

Materials: Wood or composition wood siding noted.

Observations:

- Pointed wood extensions on eaves are a design feature. It allows for the wooden ends to eventually be damaged by moisture/weather. Recommend monitoring and maintaining these areas to prevent additional deterioration.
- Small cracking observed in the exterior caulking of the siding. Recommend sealing all gaps and cracks in the exterior of the structure to prevent addition moisture intrusion. Recommend qualified contractor remediate.
- Rusted fasteners observed on the siding at the time of the inspection. Recommend remediation qualified contractor to prevent additional rust staining and deterioration.
- Missing grout at porch entry. Recommend ceiling to prevent moisture intrusion and continue deterioration.
- Exposed fastener observed on siding at the time of the inspection. Recommend sealing all fasteners to prevent moisture intrusion/deterioration.
- Large horizontal siding piece, at a slant, seemed to be a cover for unknown. Cracking in connection points at the time of the inspection. Recommend reviewing disclosures regarding work. Remediate as appropriate by qualified contractor.



Wood/wood composite



Rusted fastener



Rusted fastener



Seal gaps



missing grout



Seal gap - cover for unknown.



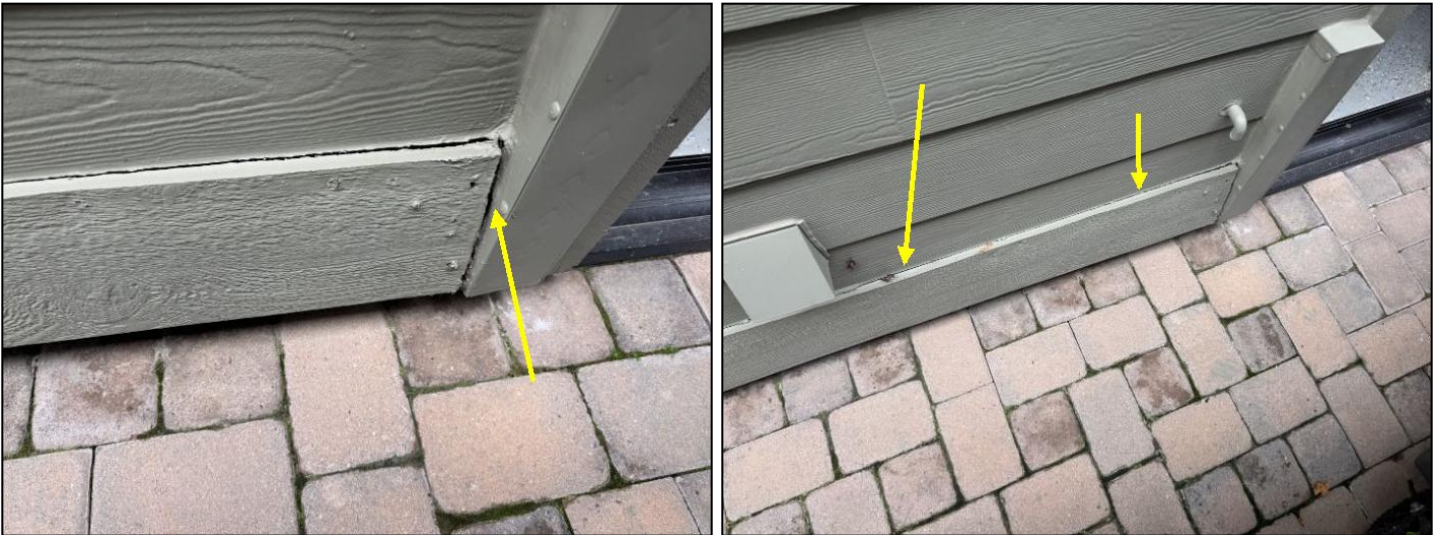
Seal gaps



unprotected decorative extension



unknown installation- review disclosures



gaps

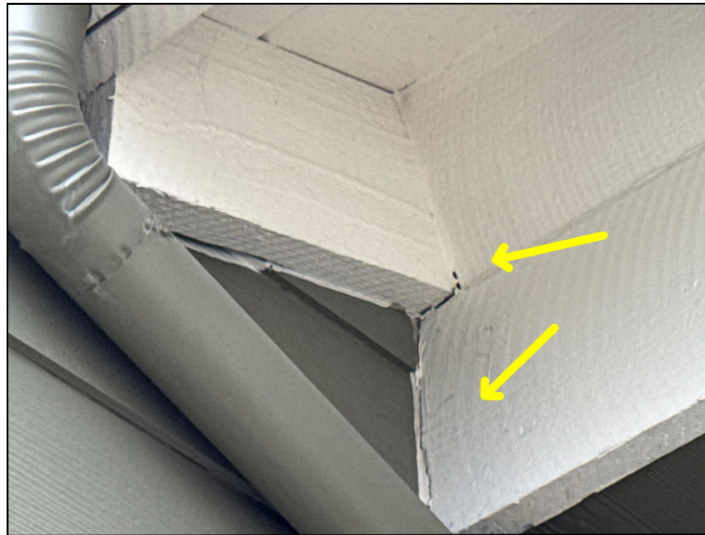


crack and rusted attachment

2. Eaves & Facia

Observations:

- Small separations observed in eaves at the time of the inspection. Recommend sealing all gaps and cracks in exterior of structure by qualified contractor to prevent moisture and pest intrusion.



Seal gaps

Roof

General Comments

Informational Conditions

There are many different roof types, which we evaluate by walking on their surfaces. If we are unable to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of layers, the quality of the material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions and the regularity or its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material and this is equally true of all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof, only water resistant. What remains true of all roofs is that whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of service. Even water stains on ceilings, or on the framing within attics, could be old and will not necessarily confirm an active leak without some corroborative evidence and such evidence can be deliberately concealed. Consequently, only the installers can credibly guarantee that a roof will not leak. We evaluate every roof conscientiously but we will not predict its remaining life expectancy or guarantee that it will not leak. Therefore, we recommend that you ask the sellers about it and that you either include comprehensive roof coverage in your home insurance policy or you obtain a roof certification from an established local roofing company. In addition, if service or further investigation is recommended for any component or system involving the roof covering, this service or evaluation should be scheduled and completed well within your inspection contingency period because a specialist may uncover additional defects or recommend service/upgrades that may affect your evaluation of the property.

1. Roof Condition

Materials: Inspected with drone

Materials: Concrete tiles noted.

Observations:

- Slight discoloration and staining observed on the roof at the time of the inspection. Recommend cleaning of roof by qualified contractor.
- Numerous tile cracks observed on the roof at the time of the inspection. Recommend hiring licensed and insured roofer to fully evaluate roof as a whole and remediate cracked/chipped tiles as appropriate.



chip tile



moss build up and cracked tiles



slight moss growth



cleaning staining



overall photo for client



chip in tile



cracked tile



crack in tile



observed from bedroom



window perspective



window perspective

2. Roof attachments

Observations:

- **Satellite Dish on Siding**

Satellite dish is strapped directly to the siding above the roof. This non-standard mounting method can create penetrations that allow moisture intrusion behind the siding and may stress the siding in high winds.

Recommend evaluation by a qualified roofing or satellite installer and consideration of relocating to a wall or pole mount to prevent potential damage. No active leaks or damage observed at this time.



overall photo for client

Garage

General Comments

Informational Conditions

It is not uncommon for moisture to penetrate garages due to their slabs being on-grade. Evidence of this is typically apparent in the form of efflorescence, or salt crystal formations that result when moisture penetrates the concrete slab or sidewalls. This is a common with garages that are below grade and some sidewalls are even cored to relieve the pressure that can build up behind them, which actually promotes drainage through the garage. If there is living space above the garage, that space will be seismically vulnerable. Ideally, the columns and beams around the garage door will be made of structural steel, but in many residences these components are made of wood but could include some structural accessories, such as post-straps, hold-downs and plywood shear paneling. In addition, garage door openings are not standard dimensions and you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles.

1. Walls

Observations:

- **Break in the firewall wall at the time of the inspection. The wall and ceiling between the garage and the home is considered a firewall. Any break in a firewall could allow a garage born fire into the home and constitutes a fire hazard. Recommend remediation by licensed contractor.**



Above garage door

2. Floor Condition



epoxy flooring

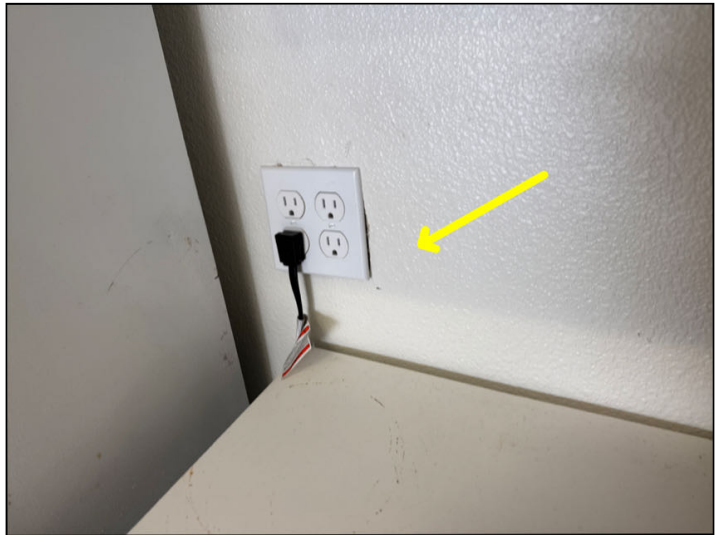
3. Electrical

Observations:

- Loose switch cover on the ceiling noted at the time of the inspection. Recommend remediation by licensed professional.
- Open ground outlet also not GFCI protected observed in the garage at the time of the inspection. This is a safety defect. Recommend electrician remediate as appropriate.



Open ground



Loose cover switch

4. GFCI

Observations:

- Missing GFCI protection in the garage at the time of the inspection. Recommend remediation by qualified electrician for safety.



Missing gfci protection

5. Garage Door Condition

Observations:

- Failing expansion gap at garage door entry at the time of the inspection... Recommend further evaluation and remediation by licensed contractor to prevent moisture settlement.



Failing



failing seal

6. Garage Door Parts

Observations:

- The garage door appeared functional during the inspection.

7. Garage Door's Reverse Status

Observations:

- Eye beam system present and operating at the time of the inspection.
- Pressure sensor for garage door non functional at the time of the inspection. Recommend qualified contractor remediate.

8. Cabinets



Foundation

General Comments

Informational Conditions

Slab foundations vary considerably, from older ones that have no moisture barrier under them and no reinforcing steel within them, to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks or moisture penetration and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until

there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. There is no absolute standard for evaluating cracks. Cracks that are less than 1/4" and exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, cracks can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions and poor drainage. If cracks are not sealed they can allow moisture to enter a residence. Particularly if the residence is surcharged by a hill or slope or if downspouts discharge adjacent to the slab. In the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Raised foundations are constructed using several common methods including: Pier and Beam, Stem Wall, Permanent Wood or Pile Foundations. Raised foundations normally include a crawlspace access where plumbing, electric and duct work is often visible. In recent times, raised foundations are preferred by some builders because they allow a "breathable" home, more comfortable interior flooring and easy access for plumbing, electrical, HVAC and flooring repair.

Seismic retrofitting - We recommend client review disclosures regarding all possible seismic retrofitting of the foundation. Seismic upgrades or the lack of are not always visible during the course of the general inspection. With earthquake possibilities, we recommend all clients investigate the option to upgrade their foundation seismically to modern safety measures.

1. Slab Foundation

Observations:

- Concrete slab only.
- Concrete slab not visible due to floor coverings.

Heat/AC

General Comments

Informational Conditions

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years but can fail prematurely with poor maintenance, which is why we apprise you of their age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers. We perform a conscientious evaluation of both systems, but we are not specialists. Even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. In accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled during the inspection contingency period because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property. Our service does not include any form of warranty or guarantee.

1. Heater Condition

Materials: The furnace is located in the attic

Materials: Gas fired forced hot air.

Observations:

- Functional under normal operating controls at the time of the inspection.
- Paint over spray observed in attic and on furnace at the time of the inspection. Furnace was functional under normal operating controls. Client may elect to have unit serviced to rule out any possible paint related issues.



functional at time of the inspection.



overspray on furnace

2. Venting

Observations:

- Minimum furnace/water heater double wall B vent pipe clearance from combustible material is 1". Minimum clearance for single walled vents is 6". This is a fire hazard. Vents were observed as short of the minimum inch clearance at the time of the inspection. Recommend evaluation by HVAC contractor that vent is maintaining a 1 inch clearance from combustibles from the furnace enclosure through the roof penetration for double walled B Vent .
- An obvious attempt to establish appropriate clearance was observed but just slightly short of the mandated full inch as a MINIMUM. Recommend establishing a full inch or more by qualified HVAC contractor.



less than inch clearance

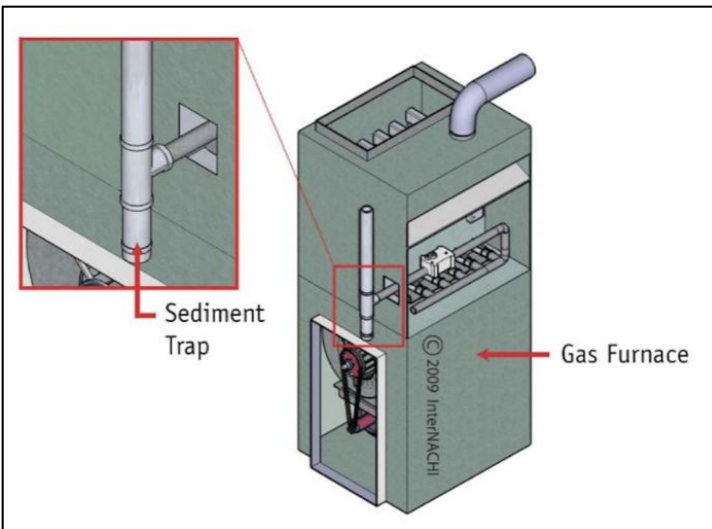


less than inch clearance

3. Gas Valves

Observations:

- Missing sediment traps on the furnace gas lines observed at the time of the inspection. A sediment trap collects any debris that may be trapped in the gas line before it enters the appliance and possibly cause damage. Recommend remediation by a licensed HVAC contractor.



missing sediment trap(s)

4. Refrigerant Lines

Observations:

- Damage to insulation at **A/C** unit at the time of the inspection. Recommend remediation by qualified HVAC contractor.



damaged insulation



insulation damage

5. AC Compress Condition

Compressor Type: Gas

Location: The compressor is located on the exterior grounds.

Observations:

- Rust observed in unit at the time of the inspection. Recommend evaluation and servicing of unit by qualified HVAC contractor
- Air conditioner may be at or near the end of its life as evident by its use of R-22 refrigerant. Recommend evaluation by licensed HVAC contractor and budgeting for a replacement.
- Air conditioner not run on the day of the inspection as the temperature outside was less that 60 degrees. Recommend running cooling cycle under normal operating controls when weather permits before the end of escrow.
- AC Condenser - Conduit
Discoloration and staining observed on the electrical conduit entering the outdoor AC unit. This is commonly caused by condensation, UV exposure, or minor corrosion in coastal environments.
No active leaks or damage to the wiring noted. Recommend monitoring and, if discoloration worsens or spreads, evaluation by a qualified electrician or HVAC technician.
- Compressor dated 2007. With most units rated to have functional lives of 10-15 years some 20-25 depending on use and maintenance. We recommend monitoring and preparing for replacement. Further evaluation by licensed HVAC contractor recommended.
- Missing/failing attachments for the exterior AC units. Recommend addition of appropriate tie downs by licensed and insured HVAC contractor.



Rust



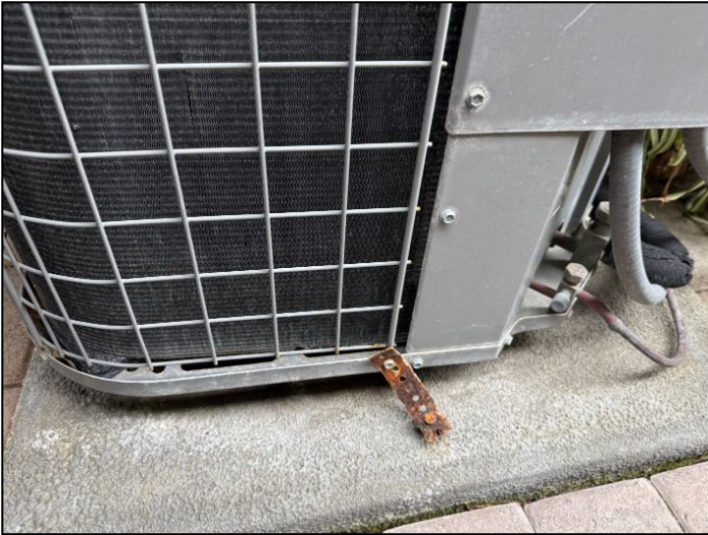
Rust



2007 units



missing attachment



rusted



rust in unit



discoloration of conduit - possible exposure

Water Heater

General Comments

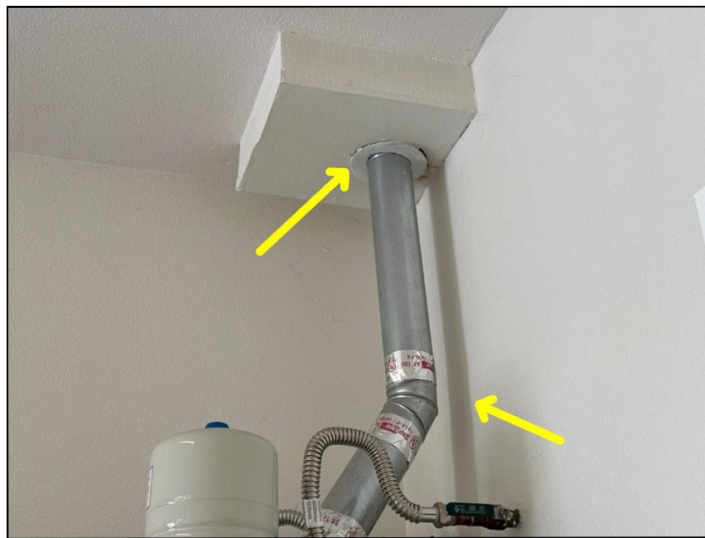
Informational Conditions

There are a wide variety of residential water heaters that range in capacity from fifteen to one hundred gallons. While many water heaters last much longer, they can be expected to last at least as long as their warranty, or from five to eight years. Few of them last longer than fifteen or twenty years and many eventually leak. It is always wise to have them installed over a drain pan plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water softening systems. The water temperature should be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 120 degrees to prevent scalding. Water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve.

1. Venting

Observations:

- **SAFETY CONCERN:** Gas burning water heater vent pipes had less than required minimum distance from combustible materials at the time of the inspection. This is hazard. Single walled vents need 6 inches to clearance while double typically need only one. Recommend licensed contractor remediate to establish appropriate clearance to combustibles from the top of the water heater through the roof.
- Flashing at top of water heater observed as loose against ceiling at the time of the inspection. Recommend further evaluation and remediation to establish appropriate clearance to combustibles.



Clearance to combustibles. Loose attachment point

2. Water Heater Condition

Heater Type: Gas

Location: The heater is located in the garage.

Observations:

- Water temperature measured at 136 which is a scalding hazard. Recommend reduction of temperature to 120 to prevent scalding.



136

3. TPRV

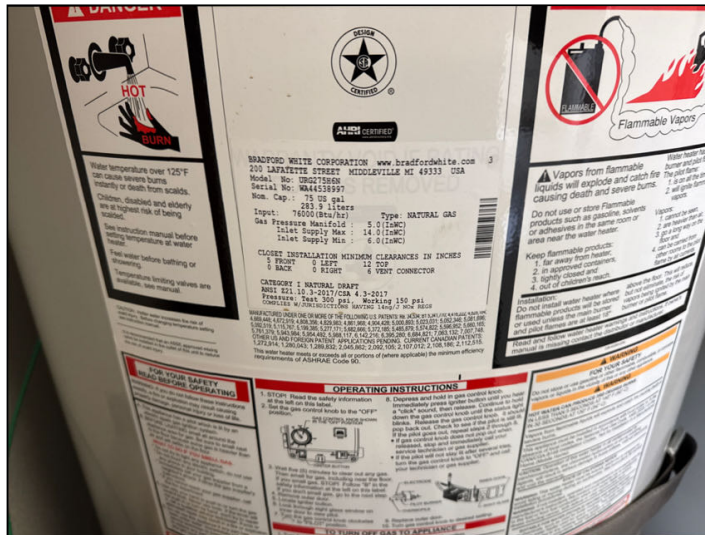
Observations:

- Appears to be in satisfactory condition -- no concerns.

4. Number Of Gallons

Observations:

- 75 gallons



75 gallons

5. Plumbing

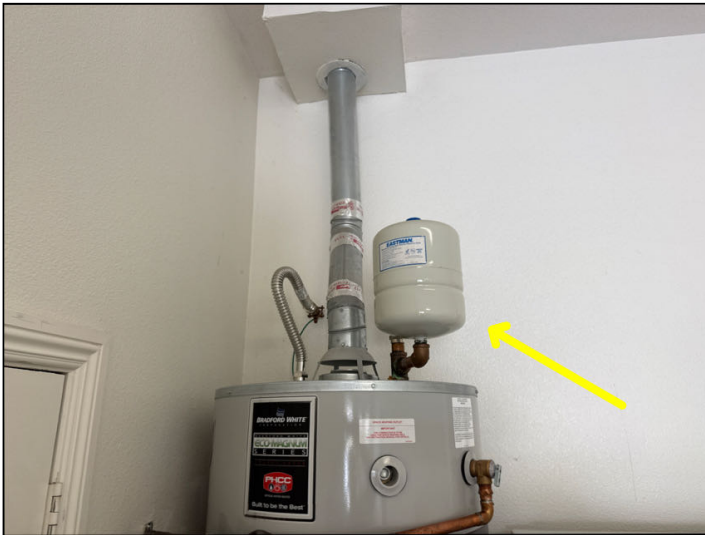
Observations:

- Water Heater - **expansion tank**

Expansion tank observed mounted above the water heater without proper support or strapping. This can lead to stress on piping and potential leaks over time.

Recommend securing the tank with appropriate strapping by a qualified plumber. No active leaks noted at this time.

- Plumbing observed as being corroded at the expansion tank connection the time of the inspection. Recommend further evaluation and remediation by qualified contractor.



No support



corrosion on water heater plumbing connection point

6. Overflow Condition

Observations:

- Overflow line observed as emptying directly to garage floor at the time of the inspection. We recommend that the line extend to the exterior of the enclosure. In the event of its use, extending the line to the outside will prevent water damage to anything of value stored in the garage.



Discharge tube

Electrical

General Comments

Informational Conditions

There are a wide variety of electrical systems with an even greater variety of components and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems is that the national electrical code [NEC] is not retroactive and therefore many residential systems do not comply with the latest safety standards. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform load- calculations to determine if the supply meets the demand. Any inspecting done beyond the SCOPE or standards of practice is to be considered informative only. In the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed during the inspection contingency period, because an electrician could reveal additional deficiencies or

recommend some upgrades for which we would disclaim any further responsibility. We typically recommend upgrading outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground interrupters and generally speaking, have been required in specific locations for more than thirty years. Beginning with swimming pools and exterior outlets in 1971, and the list has been added to ever since: bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, hydro tubs, massage equipment, boat houses, kitchens, and unfinished basements in 1987, crawlspaces in 1990, wet bars in 1993 and all kitchen counter top outlets since 1996. Most recently in the 2020s adding all outlets in any wet location despite distance from sink or circuit amperage, adding GFCI breakers to panels along with whole house surge protectors. Similarly, AFCI's or arc fault circuit interrupters, represent the very latest in circuit breaker technology, and have been required in all bedroom circuits since 2002. In as much as arc faults cause thousands of electrical fires and hundreds of deaths each year, we categorically recommend installing them at every circuit as a prudent safety feature.

National safety standards require electrical panels to be readily accessible and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. We attempt to test every one that is unobstructed but while not be moving furniture or belongings in our inspection.

1. Electrical Panel

Location: Exterior of structure.

Location: Located in the garage.

Observations:

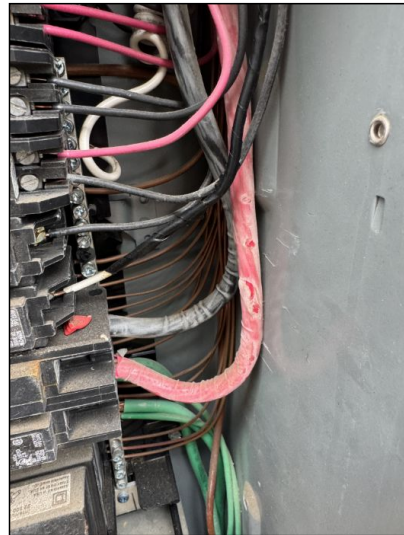
- Main panel observed as having "dirt"/ mild rust in the bottom of the panel. Recommend further evaluation/cleaning of panel of all debris by qualified electrician. Monitoring for rust expansion.
- Outer thin layer of live conductor observed slightly damaged at the time of the inspection. No damage to colored insulation and no observable exposed live wires. Recommend having electrician fixing gfci and other electrical issues confirm conductor as safe for use.
- Insufficient labeling observed on the electrical panels at the time of the inspection. Recommend licensed electrician troubleshoot to label in a fashion that anyone would be able to tell what the breaker feeds.
- Neutral observed as incorrectly bonded to the sub panel neutral bus bar with green screw at the time of the inspection. The neutrals and grounds should only be bonded at the first means of disconnect. Recommend further evaluation, removal of bond by licensed electrician.



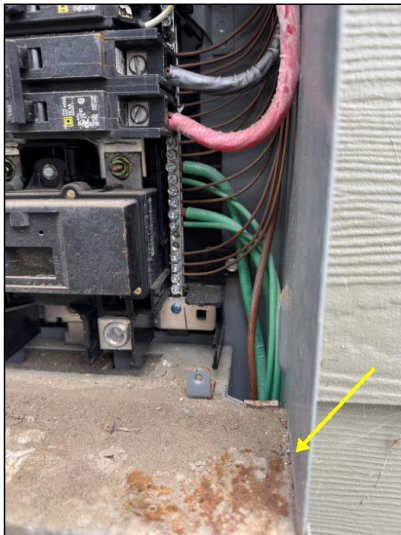
100 amp sub panel



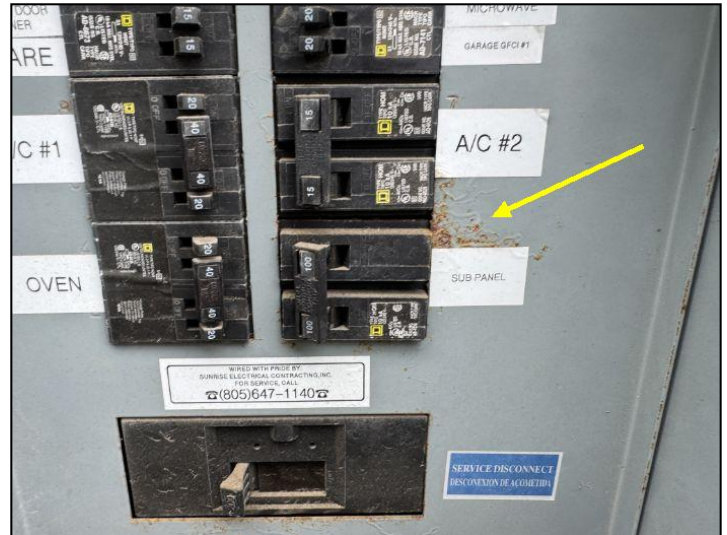
200 amp main panel



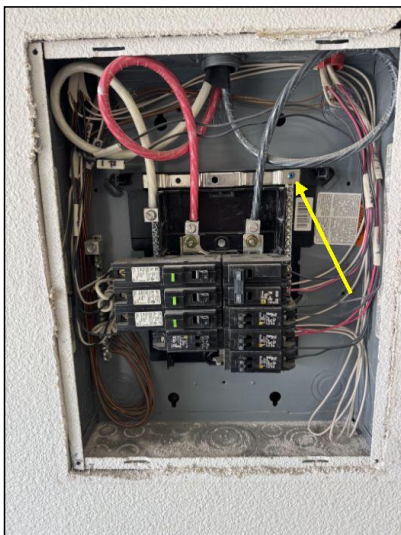
slight damage to insulation



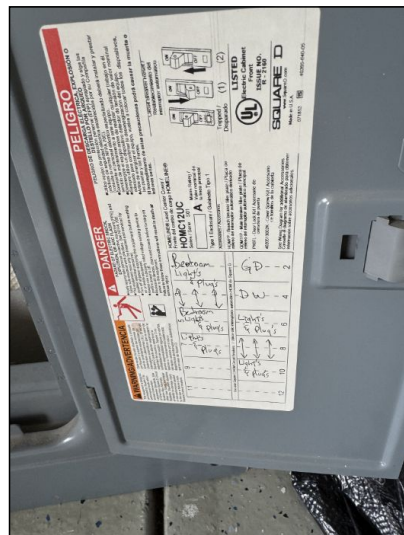
mild rust



mild rust



bonding screw still installed in sub panel- defect



labeling

2. Main Amp Breaker

Observations:

- 200 amps



3. Breakers in off position

Observations:

- 0



4. Cable Feeds

Observations:

- There is an underground service lateral noted.

Attic

General Comments

Informational Conditions

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous. In which case, we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, we do not sample or test the material for specific identification. We do not disturb or move any portion of the insulation and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other equipment.

1. Access

Observations:

- Inspection of attic area limited to the accessible areas/platforms in/above the access points
- Conductors observed as right next to the access points of the attic at the time of the inspection. Any conductors within 6 ft of an attic access need to be protected with guard strips and secured at intervals not to exceed 54" to prevent any damage to the conductor when accessing the attic. Recommend licensed electrician remediate.



conductors next to access

2. Structure

Observations:

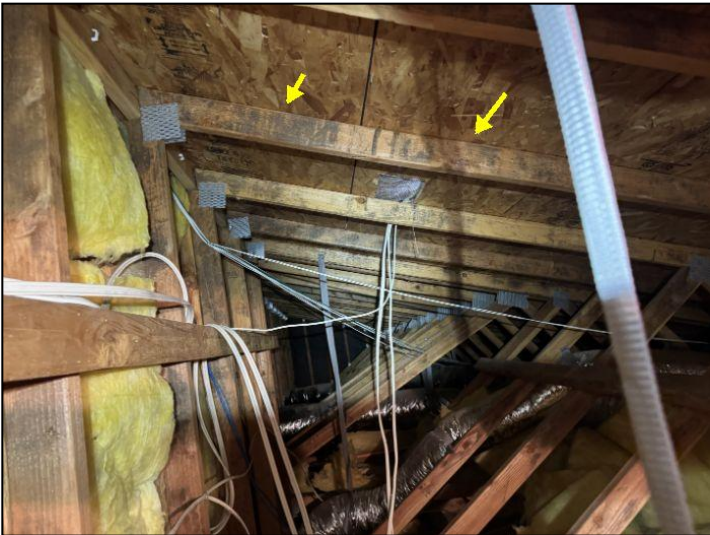
- Recommend removal of any unused products or garbage from attics.
- Dark staining on trusses at the time of the inspection. Possible microbial growth. Recommend further evaluation and remediation as appropriate by qualified contractor.



possible growth



possible growth



staining on trusses



staining on trusses



trash in attic - recommend removal



staining/possible microbial growth



access to furnaces - photo for client

3. Electrical

Observations:

- Recommend having light bulbs covered in attic to prevent bumping into them.

4. Insulation Condition

Materials: Fiberglass batts noted.



fiberglass insulation

Interior Areas

General Comments

Informational Conditions

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments or move furniture, lift carpets or rugs, empty closets or cabinets and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. There are a host of lesser contaminants such as that from moisture penetrating, carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts and other porous surfaces which can be difficult to eradicate. As the sense of smell adjusts rapidly and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, particularly if you or any member of your family suffers from allergies or asthma and schedule whatever remedial services may be deemed necessary during your inspection contingency period. **Fireplaces:** There are a wide variety of chimneys, which represent an even wider variety of interrelated components that comprise them. However, there are three basic types: single walled metal, masonry and prefabricated metal ones that are commonly referred to as factory built. Single-walled metal ones should not be confused with factory-built metal ones, and are rarely found in residential use, but masonry and factory-built ones are commonplace. Our inspection of them is that of a generalist, not a specialist and meets industry standards. However, significant areas of chimney flues cannot be adequately viewed during a field inspection, as has been documented by the Chimney Safety Institute of America, which reported in 1992, "The inner reaches of a flue are relatively inaccessible and it should not be expected that the distant oblique view from the top of bottom is adequate to fully document damage even with a strong light." Therefore, because our inspection of chimneys is limited to those areas that can be viewed without dismantling any portion of them, and does not include the specialized equipment, we will not guarantee their integrity and agree with the National Fire Prevention Association that recommends that all chimneys be inspected before buying or selling a home. We recommend having a Certified Chimney Specialist conduct a level 2 inspection of the chimney and flue, prior to closing of escrow. Please see <https://www.csia.org/inspections.html> for additional information. **Fire extinguishers :** It is recommended having a fire extinguisher on every floor of a residence within 75 ft of each other. Depending on the fire extinguisher and purpose, these requirements may vary. Recommend installing fire extinguishers per manufacturers instructions as a fire safety measure.

1. Floor Condition



wood like product.

2. Ceiling Condition

Observations:

- Incomplete paint job observed throughout the house at the time of the inspection. Recommend further evaluation and remediation as appropriate by qualified contractor.



Differing shades

3. Window Condition

Observations:

- Many of the windows were observed as slightly tight at the time of the inspection. Recommend monitoring and servicing as necessary.
- Recommend having windows cleaned and serviced for efficacy of use.
- Front window observed with difficulty closing at the time of the inspection. Recommend qualified contractor further evaluate and remediate as appropriate for ease of use
- Windows and living room observed as tight and difficult to operate at the time of the inspection. Recommend servicing windows by qualified professional for ease of use
- Window in living room on top of the stairs appears broken, unable to close at the time of the inspection. Recommend evaluation and remediation by qualified contractor.
- One or more the window blinds were non-operable or broken at the time of the inspection. Recommend repair/replacement by a licensed professional.



Difficulty closing- front window



Tight



dirt on window sills



right window top of stairs - broken



would not close



observed as tight to operate

4. Electrical

Observations:

- One or more wall switches in the home observed as having no function at the time of the inspection. Recommend licensed and insured electrician for further evaluation.



front room left switch unknown

5. Patio Doors

Observations:

- Locking mechanism difficult to operate at the time of the inspection. Recommend servicing of doors for ease of use.
- Damage to weather stripping observed to bedroom patio doors - downstairs - at the time of the inspection. Recommend remediation as appropriate.



difficult screen doors - difficult locking mechanism



difficult lock patio door bedroom



damage to weather stripping

6. Screen Doors

Observations:

- Patio door(s) screen doors observed as difficult to function and broken at the time of the inspection. Recommend remediation by qualified contractor.



Difficult screen door

7. Fireplace

Observations:

- Many aspects of the fireplace/chimney including interior of the flue(s) are not fully visible and beyond the scope during the course of a general visual inspection. The NFPA (National Fire Prevention Association) recommends that all fireplaces, chimneys, etc receive a level 2 inspection before buying and selling a home. In our opinion, this is a prudent recommendation. We recommend having a Certified Chimney Specialist service and check prior to close for safety of use. Correct any defects if present. Any questions regarding inspection recommendations please see www.csia.org/inpections.html
- No damper clamp observed in the back patio room fireplace. If in use, having the clamp to maintain the damper in the open position is a prudent recommendation.
- Client mentioned burning wood in one of the fireplaces. They appear to be pre fabricated gas burning fireplaces. Recommend review of fireplace inspection/manufacturers instructions for allowable burning in the fireplaces for safety of use.
- Patio room fireplace observed with capped gas line with scaling rust and slight damage to through wall connection point of gas line. Recommend further evaluation by licensed/insured fireplace professional.



Patio room - slight rust - no damper clamp



scaling rust on capped gas line. damage to connection point.

8. Cabinets



Kitchen

General Comments

Informational Conditions

We test kitchen appliances for their functionality and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may exhibit a decrease in efficiency. Many older gas and electric ranges are not secured and can be easily tipped, particularly when any weight is applied to an open range door and all such appliances should be confirmed to be secure. We do not inspect the following items: free-standing appliances, refrigerators, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills or rotisseries, timers, clocks, thermostats, the self-cleaning capability of ovens and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards.

1. Electrical

Observations:

- Electrical switch under sink. Unable to determine use at the time of the inspection. Recommend review of disclosures regarding function of under sink switch.
- Two lights seemingly out in kitchen at the time of the inspection. Recommend remediation by qualified contractor.
- Electrical switch with missing screw at the time of the inspection. Recommend electrician add screw for safety of use.



missing lights



unknown function- missing screw

2. Cook top condition

Observations:

- Gas cook top noted. Operated and functional at the time of the inspection.



functional

3. Oven & Range

Observations:

- Observed as functional at the time of the inspection.



functional

4. Vent Condition

Observations:

- Venting functional at the time of the inspection.



functional

5. Microwave

Observations:

- Functional at the time of inspection.



functional

6. Dishwasher

Observations:

- Appeared functional at the time of the inspection.



functional

7. Cabinets

Observations:

- Crack in cabinet observed in the kitchen at the time of the inspection.



crack

Bedrooms

General Comments

Informational Conditions

In accordance with the standards of practice, our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets and closets and includes the testing of a representative number of windows and doors, switches and outlets. We evaluate windows to ensure that they can adequately facilitate an emergency exit or egress but we do not evaluate window treatments, nor do we move furniture, lift carpets or rugs, empty closets or cabinets or comment on common cosmetic deficiencies.

1. Floor Condition

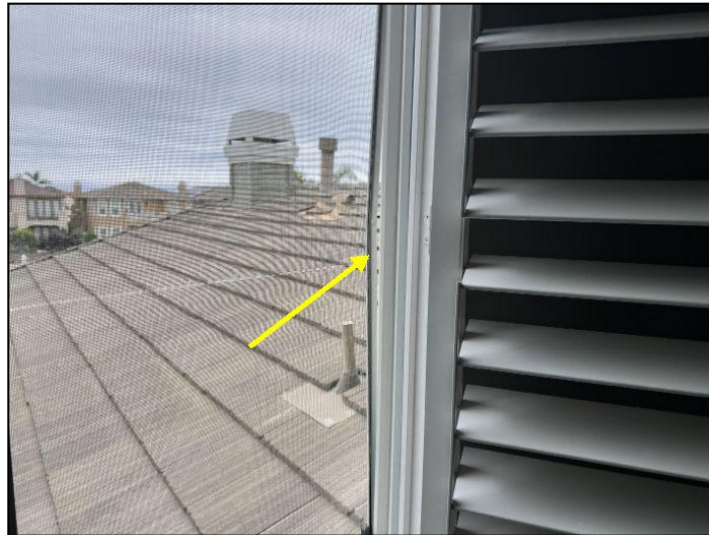


carpet

2. Window Condition

Observations:

- Bent screen observed at the time of the inspection. Recommend remediation by qualified contractor.



broken screen - upstairs bedroom

Bathroom

General Comments *Informational Conditions* Bathrooms can consist of many features from whirlpool tubs and showers to toilets and bidets. Because of all the plumbing involved, much of which is not visible, it is not always possible for the inspector to view and identify every plumbing issue. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel and other problems. In accordance with industry standards, we do not comment on common cosmetic deficiencies and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans, which may be the responsibility of a termite inspector. Due to the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

1. Cabinets

Observations:

- Rust color staining observed in cabinet of restroom near garage. Recommend remediation as appropriate.



Spots

2. GFCI

Observations:

- GFCI reset for tub tested as functional at the time of the inspection.
- Access panel for Tub motor and electrical would not close at the time of the inspection. Recommend qualified contractor remediate.
- GFCI reset for the restrooms was located in the first floor bathroom at the time of the inspection.



GFCI for tub



access stuck open

3. Shower Walls

Observations:

- Cracking in the grout noted at the time of the inspection. Recommend sealing of all grout to prevent additional moisture intrusion.
- Cracking in caulking observed at the time of the inspection. Recommend cleaning and replacing all cracked caulking to prevent moisture intrusion. Recommend remediation by qualified contractor.
- Gap at shower faucet allowing moisture penetration. Recommend remediation to prevent continued moisture intrusion.



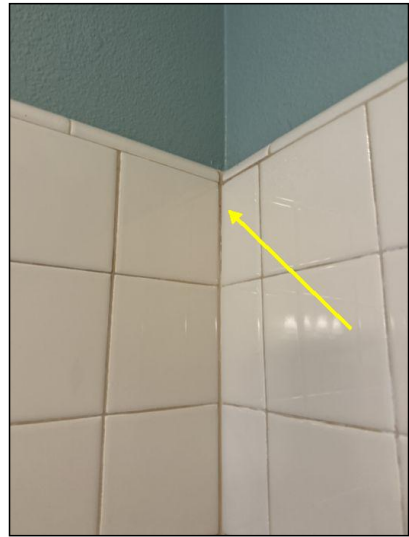
seal cracks



cracking



cracks



cracks



seal gap



bathroom 3 - missing caulking



cracking

4. Sinks

Observations:

- Slow flow observed on left sink in master at the time of the inspection. Recommend further evaluation by qualified contractor for reason between differing flows at bathroom sinks.
- Active leaking plumbing below the sink at the time of the inspection. Recommend remediation by licensed plumber.



slow flow on left sink in master



active leak - upstairs left bathroom

5. Toilets

Observations:

- Toilet observed is not flushing at the time of the inspection. Recommend further evaluation/remediation by qualified plumber.



did not flush

6. Window Condition

Observations:

- Damaged/missing screens observed at the time of the inspection. Recommend remediation by licensed professional.



missing screen bathroom window

7. Bathroom walls

Observations:

- Unfinished paint in master bathroom observed.



no paint behind toilet - master

Laundry

General Comments

Informational Conditions

In accordance with industry standards, we do not test clothes dryers or washing machines including their water connections and drainpipes. There are two things that you should be aware of: The water supply to washing machines is usually left on and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing the rubber hose with newer braided stainless steel ones that are much more dependable. You should also be aware that the newer washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow. In this case, the only remedy would be to replace the standpipe and trap with one that is a size appropriate.

1. GFCI

Observations:

- No GFCI protection present in the laundry at the time of the inspection. We recommend upgrading all outlets in the laundry area and anywhere within 6 ft of water to GFCI protected for safety.



No gfci

2. Cabinets

Observations:

- There appears to be water damage under sink. This tested dry at the time of the inspection, but monitor for any further intrusion.



Previous leak - laundry



functional

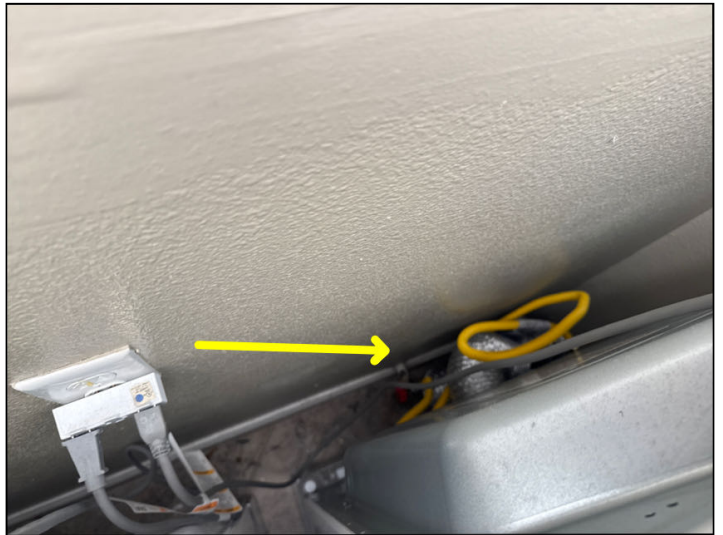
3. Dryer Vent

Observations:

- Flexible transition dryer vent observed behind the dryer at the time of the inspection. These are allowed as transition ducts connecting the dryer to the exhaust at 8ft or less. Recommend awareness regarding the fact that flexible transition ducts can get smashed and kink when moving the dryer. A clogged or kinked dryer vent can be a fire hazard. Therefore, we recommend being aware when moving dryer and having dryer vent cleaned as appropriate to allow for proper venting. We recommend evaluating replacing flexible vent with solid to prevent any clogging/fire issues.
- Lint build up observed at vent at the time of the inspection. Recommend cleaning and maintenance of dryer vent by qualified professional.



Clean



Flex

4. Window Condition

Materials: Vinyl framed sliding window noted.

Observations:

- Window and laundry room reserved to be loose during use recommend servicing window for ease of use.



Loose window

Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
Expansion Tank	An expansion tank or expansion vessel is a small tank used to protect closed (not open to atmospheric pressure) water heating systems and domestic hot water systems from excessive pressure. The tank is partially filled with air, whose compressibility cushions shock caused by water hammer and absorbs excess water pressure caused by thermal expansion.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency or a defect requiring minor or major expense to correct, or possibly items that require further review from a qualified specialist. They summary is not a complete list of all the findings in the report and reflects the opinion of the inspector on the time and date of the inspection. Please review all pages of the report. All repairs should be done by a licensed and bonded tradesmen or professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done. Also, I recommend you inquire with your agent about a home warranty.

Since I never know who will be occupying or visiting a property, whether it be children or elderly, I ask you to consider following these general safety recommendations: Install smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; investigate electrical upgrades; consider all CA pool safety options and installing child safe locks and alarms on the exterior doors of all pool and spa properties. I am proud of my service, and trust that you will be happy with the quality of this report. I've made every effort to provide you with an accurate assessment of the condition of the property and its components to alert you to any significant defects or adverse conditions. However, I may not have tested every outlet and opened every window or door or identified every minor defect Also, because I'm not a specialist, and because my inspection is in essentially visual, latent defects could exist. Therefore, you should not regard my inspection as conferring any guarantee or warranty. It does not. It is simply report on the general condition of a particular property at a given point in time furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components, and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. if you have been provided with a home protection policy, read it carefully. Thank you for taking the time to read this report and call me if you have any questions or observations. I am always attempting to approve the quality of my service and my report, and will continue to adhere to the highest standards of the real estate industry and treat everyone with kindness, courtesy, and respect.

In the summary pages, in **BLUE**, a brief summary of any **CRITICAL** concerns of the inspection as they relate to safety and function examples would be bare, electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including normal maintenance items. Please be sure to read your entire report.

For your safety and liability, I recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled, or part of an addition, I recommend that you verify permits and certificate of occupancy. This is important, because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit and defect could exist.

Depending on your needs, and those who will be on this property, items listed in the body of the report may also be a concern to you. Be sure to read your inspection report and it's entirety.

Note: if there are no comments in **BLUE** below, there were no **CRITICAL** system or safety concerns with this property at the time of the inspection.

This summary report will provide you with a preview of the components or conditions that need service or a second opinion, but it is not definitive.

Therefore, it is essential that you read the full report. Regardless, in recommending service, I have fulfilled my contractual obligation as a generalist, and therefore claim any further responsibility. However, service is essential and should be completed during the inspection because a specialist could identify further defects or recommend some upgrades that could affect your valuation of the property. This report is the exclusive property of Best Coast Inspections and the client whose name appears within, and it used by any unauthorized person is prohibited.

Grounds		
Page 7 Item: 3	Grounds Electrical	<ul style="list-style-type: none"> • Use of extension cords in an apparent permanent installation observed at BBQ at the time of the inspection. This is a defect and safety concern. Extension cords are recommended for temporary use only and constitute a fire hazard in a permanent application. Recommend removal of all extension cords in the backyard. • Exterior patio BBQ outlet observed as non functional at the time of the inspection. Recommend further evaluation by licensed electrician.
Page 7 Item: 4	GFCI	<ul style="list-style-type: none"> • Exterior outlet observed as missing cover at the time of the inspection. We recommend electrician to install covers on all outdoor outlets. • Exterior deck, GFCI non-functional at the time of the inspection. Recommend evaluation/remediation by qualified electrician.
Page 8 Item: 6	Water Pressure	<ul style="list-style-type: none"> • 90 psi water pressure noted at the time of the inspection. Recommend hiring licensed professional and adjusting the water pressure down to 70psi to prevent damage to pipes.
Page 9 Item: 9	Patio and Porch Condition	<ul style="list-style-type: none"> • Joist hanger for patio structure observed as missing a fastener at the time of the inspection. Every hole should be used in the installation of joist hangers. Recommend qualified contractor attach appropriate fastener.

Exterior Areas		
Page 10 Item: 1	Siding Condition	<ul style="list-style-type: none"> • Small cracking observed in the exterior caulking of the siding. Recommend sealing all gaps and cracks in the exterior of the structure to prevent addition moisture intrusion. Recommend qualified contractor remediate. • Rusted fasteners observed on the siding at the time of the inspection. Recommend remediation qualified contractor to prevent additional rust staining and deterioration. • Missing grout at porch entry. Recommend ceiling to prevent moisture intrusion and continue deterioration. • Exposed fastener observed on siding at the time of the inspection. Recommend sealing all fasteners to prevent moisture intrusion/deterioration. • Large horizontal siding piece, at a slant, seemed to be a cover for unknown. Cracking in connection points at the time of the inspection. Recommend reviewing disclosures regarding work. Remediate as appropriate by qualified contractor.
Page 13 Item: 2	Eaves & Facia	<ul style="list-style-type: none"> • Small separations observed in eaves at the time of the inspection. Recommend sealing all gaps and cracks in exterior of structure by qualified contractor to prevent moisture and pest intrusion.
Roof		
Page 14 Item: 1	Roof Condition	<ul style="list-style-type: none"> • Numerous tile cracks observed on the roof at the time of the inspection. Recommend hiring licensed and insured roofer to fully evaluate roof as a whole and remediate cracked/chipped tiles as appropriate.
Garage		
Page 17 Item: 1	Walls	<ul style="list-style-type: none"> • Break in the firewall wall at the time of the inspection. The wall and ceiling between the garage and the home is considered a firewall. Any break in a firewall could allow a garage born fire into the home and constitutes a fire hazard. Recommend remediation by licensed contractor.
Page 18 Item: 3	Electrical	<ul style="list-style-type: none"> • Loose switch cover on the ceiling noted at the time of the inspection. Recommend remediation by licensed professional. • Open ground outlet also not GFCI protected observed in the garage at the time of the inspection. This is a safety defect. Recommend electrician remediate as appropriate.
Page 19 Item: 4	GFCI	<ul style="list-style-type: none"> • Missing GFCI protection in the garage at the time of the inspection. Recommend remediation by qualified electrician for safety.
Page 19 Item: 5	Garage Door Condition	<ul style="list-style-type: none"> • Failing expansion gap at garage door entry at the time of the inspection... Recommend further evaluation and remediation by licensed contractor to prevent moisture settlement.
Page 20 Item: 7	Garage Door's Reverse Status	<ul style="list-style-type: none"> • Pressure sensor for garage door non functional at the time of the inspection. Recommend qualified contractor remediate.
Heat/AC		
Page 22 Item: 2	Venting	<ul style="list-style-type: none"> • Minimum furnace/water heater double wall B vent pipe clearance from combustible material is 1". Minimum clearance for single walled vents is 6". This is a fire hazard. Vents were observed as short of the minimum inch clearance at the time of the inspection. Recommend evaluation by HVAC contractor that vent is maintaining a 1 inch clearance from combustibles from the furnace enclosure through the roof penetration for double walled B Vent . • An obvious attempt to establish appropriate clearance was observed but just slightly short of the mandated full inch as a MINIMUM. Recommend establishing a full inch or more by qualified HVAC contractor.
Page 23 Item: 3	Gas Valves	<ul style="list-style-type: none"> • Missing sediment traps on the furnace gas lines observed at the time of the inspection. A sediment trap collects any debris that may be trapped in the gas line before it enters the appliance and possibly cause damage. Recommend remediation by a licensed HVAC contractor.
Page 23 Item: 4	Refrigerant Lines	<ul style="list-style-type: none"> • Damage to insulation at A/C unit at the time of the inspection. Recommend remediation by qualified HVAC contractor.

Page 24 Item: 5	AC Compress Condition	<ul style="list-style-type: none"> Compressor dated 2007. With most units rated to have functional lives of 10-15 years some 20-25 depending on use and maintenance. We recommend monitoring and preparing for replacement. Further evaluation by licensed HVAC contractor recommended. Missing/failing attachments for the exterior AC units. Recommend addition of appropriate tie downs by licensed and insured HVAC contractor.
Water Heater		
Page 26 Item: 1	Venting	<ul style="list-style-type: none"> SAFETY CONCERN: Gas burning water heater vent pipes had less than required minimum distance from combustible materials at the time of the inspection. This is hazard. Single walled vents need 6 inches to clearance while double typically need only one. Recommend licensed contractor remediate to establish appropriate clearance to combustibles from the top of the water heater through the roof. Flashing at top of water heater observed as loose against ceiling at the time of the inspection. Recommend further evaluation and remediation to establish appropriate clearance to combustibles.
Page 26 Item: 2	Water Heater Condition	<ul style="list-style-type: none"> Water temperature measured at 136 which is a scalding hazard. Recommend reduction of temperature to 120 to prevent scalding.
Page 27 Item: 5	Plumbing	<ul style="list-style-type: none"> Water Heater - Expansion Tank Expansion tank observed mounted above the water heater without proper support or strapping. This can lead to stress on piping and potential leaks over time. Recommend securing the tank with appropriate strapping by a qualified plumber. No active leaks noted at this time. Plumbing observed as being corroded at the expansion tank connection the time of the inspection. Recommend further evaluation and remediation by qualified contractor.
Electrical		
Page 29 Item: 1	Electrical Panel	<ul style="list-style-type: none"> Insufficient labeling observed on the electrical panels at the time of the inspection. Recommend licensed electrician troubleshoot to label in a fashion that anyone would be able to tell what the breaker feeds. Neutral observed as incorrectly bonded to the sub panel neutral bus bar with green screw at the time of the inspection. The neutrals and grounds should only be bonded at the first means of disconnect. Recommend further evaluation, removal of bond by licensed electrician.
Attic		
Page 32 Item: 1	Access	<ul style="list-style-type: none"> Conductors observed as right next to the access points of the attic at the time of the inspection. Any conductors within 6 ft of an attic access need to be protected with guard strips and secured at intervals not to exceed 54" to prevent any damage to the conductor when accessing the attic. Recommend licensed electrician remediate.
Page 32 Item: 2	Structure	<ul style="list-style-type: none"> Dark staining on trusses at the time of the inspection. Possible microbial growth. Recommend further evaluation and remediation as appropriate by qualified contractor.
Interior Areas		
Page 35 Item: 3	Window Condition	<ul style="list-style-type: none"> Front window observed with difficulty closing at the time of the inspection. Recommend qualified contractor further evaluate and remediate as appropriate for ease of use Windows and living room observed as tight and difficult to operate at the time of the inspection. Recommend servicing windows by qualified professional for ease of use Window in living room on top of the stairs appears broken, unable to close at the time of the inspection. Recommend evaluation and remediation by qualified contractor. One or more the window blinds were non-operable or broken at the time of the inspection. Recommend repair/replacement by a licensed professional.
Page 37 Item: 5	Patio Doors	<ul style="list-style-type: none"> Damage to weather stripping observed to bedroom patio doors - downstairs - at the time of the inspection. Recommend remediation as appropriate.

Page 38 Item: 6	Screen Doors	<ul style="list-style-type: none"> • Patio door(s) screen doors observed as difficult to function and broken at the time of the inspection. Recommend remediation by qualified contractor.
Page 39 Item: 7	Fireplace	<ul style="list-style-type: none"> • Patio room fireplace observed with capped gas line with scaling rust and slight damage to through wall connection point of gas line. Recommend further evaluation by licensed/insured fireplace professional.
Kitchen		
Page 40 Item: 1	Electrical	<ul style="list-style-type: none"> • Two lights seemingly out in kitchen at the time of the inspection. Recommend remediation by qualified contractor. • Electrical switch with missing screw at the time of the inspection. Recommend electrician add screw for safety of use.
Bedrooms		
Page 44 Item: 2	Window Condition	<ul style="list-style-type: none"> • Bent screen observed at the time of the inspection. Recommend remediation by qualified contractor.
Bathroom		
Page 46 Item: 3	Shower Walls	<ul style="list-style-type: none"> • Cracking in the grout noted at the time of the inspection. Recommend sealing of all grout to prevent additional moisture intrusion. • Cracking in caulking observed at the time of the inspection. Recommend cleaning and replacing all cracked caulking to prevent moisture intrusion. Recommend remediation by qualified contractor. • Gap at shower faucet allowing moisture penetration. Recommend remediation to prevent continued moisture intrusion.
Page 48 Item: 4	Sinks	<ul style="list-style-type: none"> • Slow flow observed on left sink in master at the time of the inspection. Recommend further evaluation by qualified contractor for reason between differing flows at bathroom sinks. • Active leaking plumbing below the sink at the time of the inspection. Recommend remediation by licensed plumber.
Page 48 Item: 5	Toilets	<ul style="list-style-type: none"> • Toilet observed is not flushing at the time of the inspection. Recommend further evaluation/remediation by qualified plumber.
Page 48 Item: 6	Window Condition	<ul style="list-style-type: none"> • Damaged/missing screens observed at the time of the inspection. Recommend remediation by licensed professional.
Laundry		
Page 49 Item: 1	GFCI	<ul style="list-style-type: none"> • No GFCI protection present in the laundry at the time of the inspection. We recommend upgrading all outlets in the laundry area and anywhere within 6 ft of water to GFCI protected for safety.
Page 50 Item: 2	Cabinets	<ul style="list-style-type: none"> • There appears to be water damage under sink. This tested dry at the time of the inspection, but monitor for any further intrusion.
Page 51 Item: 4	Window Condition	<ul style="list-style-type: none"> • Window and laundry room reserved to be loose during use recommend servicing window for ease of use.