

SAMPLE REPORT

Confidential Inspection Report



, Oxnard, CA 93033

Inspection prepared for: SAMPLE

Date of Inspection: 1/2/2025 Time: 9am

Age of Home: 1964 Size: 3,794

Weather: Cool

Inspector : TK Erwin CPI

Phone # : (805) 585-8662

Email: TK@Bestcoastinspections.com

***BEST COAST
HOME INSPECTIONS***

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Introduction

Congratulations and thank you for choosing Best Coast Home Inspections.

Please carefully review this inspection report and remember that I am still available to answer any questions that you may have throughout the entire closing process.

This report is based on an inspection of the visible portion of the structure and follows INTERNACHI Standards of Practice for a general inspection. The inspection may be limited by vegetation, possessions and accessibility. This report will focus on safety and function, not current code. This report identifies specific non-code and non-cosmetic concerns that I believed needed further investigation or repair. For your safety and liability purposes, I recommend that licensed contractors or qualified tradesmen evaluate and repair any critical concerns and defects.

Note: Anything written in **green font** is general information and recommendations. Anything written in **blue font** means that it should be considered a safety hazard, defect, or deficiency. All critical findings are included in the Report Summary at the end of the report.

Remember that this inspection report is a snapshot in time. I highly recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property using this report as a guide.

Thank you again for choosing Best Coast Home Inspections, I wish you all the best. Sincerely,

T.K. Erwin

Best Coast Home Inspections

Scope of Work

You have contracted with Best Coast Home Inspections to perform a general inspection in accordance with the Standards of Practice established by the National Association of Certified Home Inspectors, a copy of which is available upon request. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which are clearly indicated in the standards. The inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person and certainly not intended to identify insignificant deficiencies.

Most structures built after 1978 are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented and therefore public, information about several environmental contaminants that could be of concern to your tenants all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood destroying organisms, pests and rodents, molds, microbes, bacterial organisms and electromagnetic radiation to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health, safety and environmental hygiene are deeply personal responsibilities and you should make sure that you are familiar with any contaminant that could affect the interior environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at www.epa.gov/iaq/pubs/insidest.htm.

Mold is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread on the air, land, and feed on organic matter. It has been in existence throughout human history, and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, others, are characterized as pathogens that can have adverse health effects on large segments of the population such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxigenic that represent a serious health threat. All molds flourish in the presence of moisture and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. Some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with un-vented bathroom exhaust fans and return air compartments that draw outside air. All of these areas we inspect very conscientiously. Nevertheless, mold can appear seemingly spontaneously, so you should be prepared to monitor the building and particularly those areas that we identified.

It is equally important to maintain clean air supply ducts and to change filters as soon as they become soiled because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis which is beyond the scope of our inspection. As a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants particularly if you or any member of your family suffers from allergies or asthma. You can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture and Your Home," by visiting their web site at: <http://www.epa.gov/iaq/molds/moldguide.html>, from which it can be downloaded.

Asbestos is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greek and Romans in the first century and has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. It can also be found in a wide variety of products too numerous

to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. A single asbestos fiber is said to be able to cause cancer and is therefore a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. We are not specialists and regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

Radon is a gas that results from the natural decay of radioactive materials within the soil and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and dispersed into the atmosphere. It cannot be detected by the senses and its existence can only be determined by sophisticated instruments and laboratory analysis, which is beyond the scope of our service. You can learn more about radon and other environmental contaminants and their affects on health, by contacting the EPA or a similar state agency. It would be prudent for you to enquire about any high radon readings that might be prevalent in the general area surrounding your property.

Lead poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. The word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it does not constitute a viable health threat, but as a component of potable water pipes it would certainly be a health-hazard. Although rarely found in use, lead could be present in any structure built as recently as the nineteen forties. Lead was an active ingredient in many household paints of which can be released in the process of sanding and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments. There are other environmental contaminants, some of which we have already mentioned and others that may be relatively benign. We are not environmental hygienists and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant. We recommend that you schedule whatever specialist inspections that may deem prudent during your inspection contingency period.

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein.

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Inspection Details

1. Attendance

In Attendance: Client present

2. Home Type

Home Type: Multi family home

3. Occupancy

Occupancy: Occupied - Furnished • Occupied - Furnished: Heavy volume of personal and household items limited scope of inspection at time of inspection. Any items restricted by furniture or personal items is excluded from this report.

Grounds

General Comments

Informational Conditions

Water can be destructive and foster conditions that are detrimental to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of an subterranean drainage system, and if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. The sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have during our limited visit, however we have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold like substances that can have an adverse affect on health.

Moisture intrusion is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, if the interior floors of a residence are at the same elevation or lower than the exterior grade we cannot rule out the potential for moisture intrusion and would not endorse any such areas. Nevertheless, if such conditions do exist, or if you or any member of your family suffers from allergies or asthma, you should schedule a specialist inspection.

In addition, many specifics as it relates to deck and deck safety are addressed during the permit process. Use/spacing and sizing of ledger board attachments, bolts or screws, is decided based on a number of calculations that are beyond the scope of a general inspection. Therefore, we recommend researching disclosures for any permits attached to any deck to verify correct build.

1. Grading

Observations:

- Lot grading and drainage have a significant impact on the building, simply because of the direct and indirect damage that moisture can have on the foundation. It is very important, therefore, that surface runoff water be adequately diverted away from the home. Lot grading should slope away and fall a minimum of one (1) inch every foot for a distance of six (6) feet around the perimeter of the building.
- While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector cannot always accurately predict this performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather. Inspection of foundation performance and water handling systems, therefore, is limited to visible conditions and evidence of past problems.
- The exterior grading was observed as improperly sloped in a couple locations around the foundation not allowing for the appropriate fall away from the home. Recommend creating the proper slope away from the foundation to allow for proper drainage and prevent moisture damage to the home. Remediation by licensed contractor recommended.



2. Vegetation Observations

Observations:

- Maintenance Tip: When landscaping, keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways for wood destroying insects, as well as abrade and damage siding, screens and roofs.
- Vegetation observed as resting against the house at the time of the inspection. This may lead to damage of siding or moisture entry. Recommend evaluating the need to trim back vegetation.
- Signs of excess moisture in the garden area lining the front of the home at the time of the inspection. Recommend monitoring sprinklers and water pooling to prevent excess moisture from pooling next to the homes foundation.



Vegetation against home

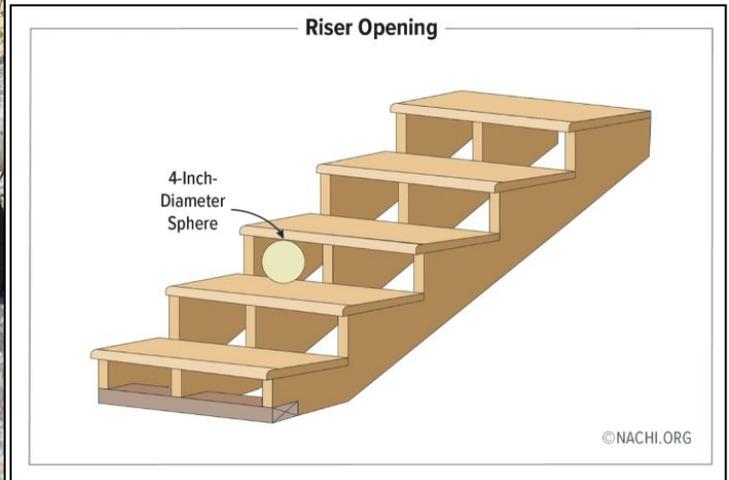
3. Stairs & Handrail

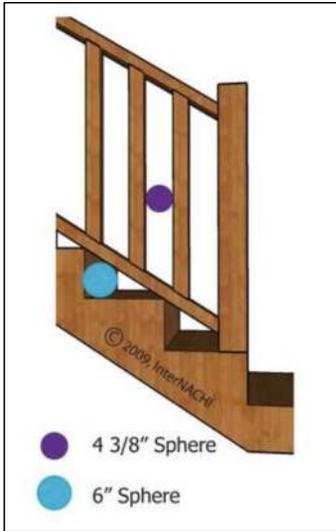
Observations:

- Open stair risers exceeded the 4 inches allowable for child safety standards observed at the time of the inspection. Recommend remediation by licensed professional.
- The spacing between the stairs and the handrail was observed as larger than the allowable 6 inches at the time of the inspection. Recommend remediation by a licensed professional to prevent small children falling hazards.
- Significant rust/spalling observed on the stairs and balcony at the time of the inspection. This may increase chances of failure. Recommend remediation by licensed and insured contractor to prevent additional deterioration and prevent any failure of a safety guard.
- Observed possible microbial growth on the stairs/balcony at the time of the inspection. Recommend remediation by licensed professional.



larger than 4 inch gap





rust on stairs/balcony



rust



rust



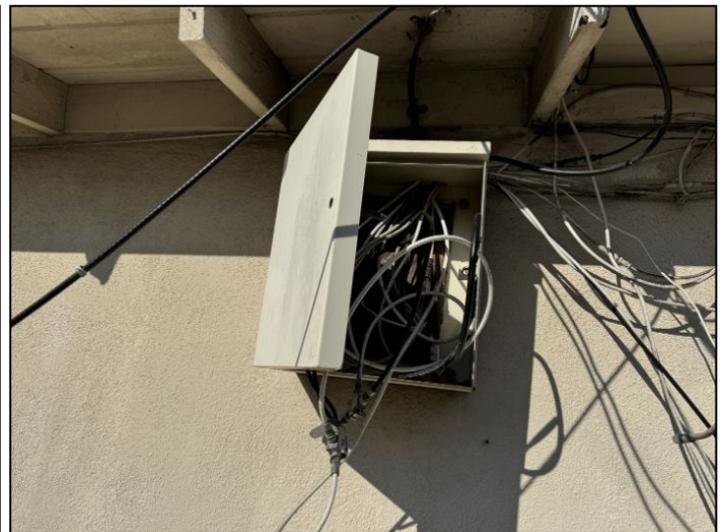
suspected microbial growth/spalling



4. Grounds Electrical



no light - apt 3



low voltage not included in the inspection.

5. Main Gas Valve Condition

Observations:

- No gas present on the property at the time of the inspection.

6. Plumbing

Materials: Copper piping noted around the water heater. Due to the age of the home, less reliable methods of piping like galvanized was often used. Recommend examining disclosures and communication with seller regarding the original pipe used to plumb the home.

Observations:

- Sewer line— Whenever ownership is changing hands we recommend a sewer scope. This separate inspection will show the condition of the buried sewer line from the home to the city main. Items such as tree roots, broken drain pipes, and other obstructions will be revealed. Recommend license professional.
- Corrosion/rust on cast iron is noted at the time of the inspection. Consult with a licensed plumbing contractor to determine and correct the issue.

7. Water Pressure

Observations:

- 80 psi observed at the time of the inspection. This may put undo stress on your pipes. Recommend adjusting pressure down to a max of 70psi.



8. Pressure Regulator



main water

9. Balcony

Observations:

- Horizontal cracking observed on the balcony at the time of the inspection. Recommend structural engineer or qualified contractor evaluate and remediate to prevent further deterioration/failure.



cracking on balcony

Exterior Areas

General Comments

Informational Conditions

With the exception of townhomes, condominiums, and residences that are part of a planned urban development, or PUD, we evaluate the following exterior features: driveways, walkways, fences, gates, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. However, we do not evaluate any detached structures, such as storage sheds and stables, and we do not water test or evaluate subterranean drainage systems or any mechanical or remotely controlled components, such as driveway gates. Also, we do not evaluate landscape components, such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. In addition, we do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this could only be confirmed by a geological evaluation of the soil.

1. Eaves & Facia

Observations:

- Signs of dirt and possible microbial growth under the eaves observed at the time of the inspection. Recommend cleaning. Recommend remediation by a licensed professional.
- Peeling paint observed on the exterior of the home at the time of the inspection. Recommend qualified contractor remediate.
- Roof flashing lifted at the time of the inspection. Recommend remediation by qualified contractor to remediate to prevent moisture intrusion.
- Gap observed in eaves at the time of the inspection. Recommend sealing all gaps and cracks in exterior of structure by qualified contractor.
- Signs of possible wood destroying pests around the exterior of the home at the time of the inspection. Recommend for the evaluation by qualified contractor.
- Peeling paint/possible dry rot, and suspected pest intrusion under the eaves at the time of the inspection. Recommend further remediation by qualified contractor.



peeling paint



pests



suspected wood destroying pests



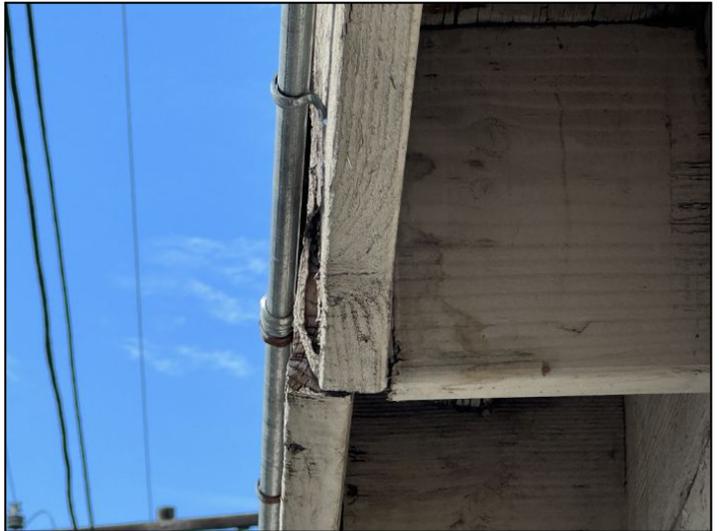
suspected growth



suspected growth



under garage roof



separation of fascia board



second story eaves - suspected growth



suspected pests

2. Stucco

Observations:

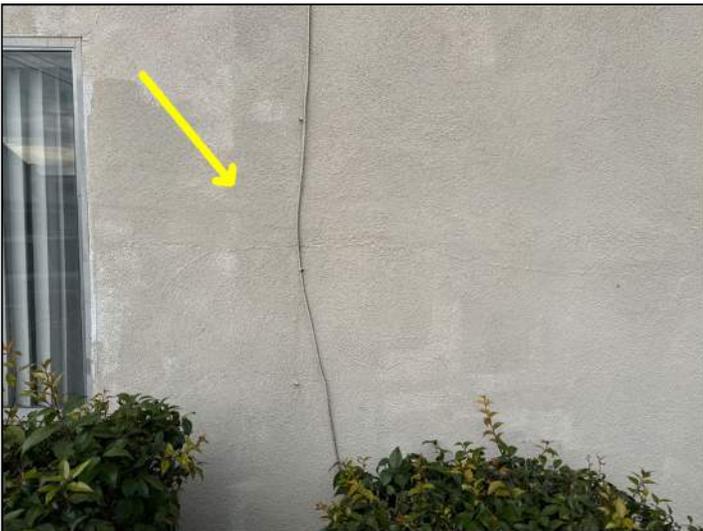
- Small settlement cracks in the stucco observed at the time of the inspection. We recommend monitoring and sealing holes & gaps in the stucco to keep water infiltration from causing further damage.
- The exterior stucco appears to be stained from roof runoff at the time of the inspection. Moisture penetration and possible microbial growth observed on the stucco at the time of the inspection. Recommend remediation by a licensed contractor to prevent further deterioration.
- Cracks in stucco extending from window at the time of the inspection. There is stucco missing in areas of the exterior. Recommend having a qualified exterior finish contractor evaluate and correct the issue.
- There was small patches of stucco missing in areas of the exterior at the time of the inspection. We recommend having a qualified contractor evaluate and repair the areas.
- Previous stucco patch jobs for exterior of structure observed at the time of the inspection.
- Spalling and signs of moisture observed on base of the exterior of the home at the time of the inspection. Moisture in the building wall can cause serious issues. Important to maintain proper grading so all no moisture settles next to the home. Recommend hiring licensed contractor to remediate. See "grading".
- Significant cracking observed on the exterior of the home at the time of the inspection. Recommend structural engineer or qualified contractor evaluate and remediate as appropriate.
- Deterioration of stucco under balcony at the time of the inspection. Recommend remediation by qualified contractor.
- Cracks and gaps observed in stucco around exterior of structure at the time of the inspection. Recommend filling all cracks and gaps to prevent moisture and pest intrusion.
- Large access panel without cover observed at the time of the inspection. Recommend qualified contractor seal hole to prevent moisture/pest intrusion.



Large crack, exposed stucco



Paint patches



settlement crack



Settlement crack, plus stain



damage



Hole in stucco



moisture damage- see "grading"



under balcony



seal gaps



staining



loose access panel



previous patch work



large crack



hole in wall



stucco stain from run off



settlement crack

Roof

General Comments

Informational Conditions

There are many different roof types, which we evaluate by walking on their surfaces. If we are unable to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of layers, the quality of the material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions and the regularity of its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material and this is equally true of all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof, only water resistant. What remains true of all roofs is that whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of service. Even water stains on ceilings, or on the framing within attics, could be old and will not necessarily confirm an active leak without some corroborative evidence and such evidence can be deliberately concealed. Consequently, only the installers can credibly guarantee that a roof will not leak. We evaluate every roof conscientiously but we will not predict its remaining life expectancy or guarantee that it will not leak. Therefore, we recommend that you ask the sellers about it and that you either include comprehensive roof coverage in your home insurance policy or you obtain a roof certification from an established local roofing company. In addition, if service or further investigation is recommended for any component or system involving the roof covering, this service or evaluation should be scheduled and completed well within your inspection contingency period because a specialist may uncover additional defects or recommend service/upgrades that may affect your evaluation of the property.

1. Roof Condition

Observations:

- Garage roof observed as slightly sagging in the middle at the time of the inspection. Recommend further evaluation and remediation by licensed and insured contractor.
- Moisture observed as settling in multiple spots on the drainage plane of the roof at the time of the inspection. Possible microbial growth/moss observed, Recommend license and insured roofer evaluate for remediation.
- Exposed fasteners on the ridge line of the roof at the time of the inspection. Recommend remediation by licensed contractor.
- Shingles worn down exposing the fiberglass observed at the time of the inspection. This is a sign the roof is at or near the end of its functional life. Recommend evaluation and remediation by licensed and insured roofing company.
- Shingles observed as split on the ridge line at the time of the inspection. Recommend qualified roofer remediate.



Appears to sag above garage



moisture settlement



moisture settlement/suspected growth



exposed fasteners



exposed fastener



exposed fiberglass



cracks in ridge line

2. Flashing

Observations:

- Previous repairs to the flashing where the roof meets the wall were observed at the time of the inspection. Recommend hiring licensed contractor to seal all gaps and cracks in the flashing/stucco to prevent moisture or pest intrusion.
- Roof flashing observed as lifted-up from the roof at the time of the inspection. Recommend licensed and insured roofing contractor remediate to prevent moisture and pest intrusion.
- Multiple areas of the flashing observed as damaged at the time of the inspection. Recommend replacement of all damaged flashing to insure the prevention of moisture intrusion.
- Rusted flashing observed with peeling paint at the time of the inspection. Recommend remediation by licensed and insured roofer.
- Previous repairs to the flashing where the roof meets the wall were observed at the time of the inspection. Recommend hiring licensed contractor to seal all gaps and cracks in the flashing/stucco to prevent moisture or pest intrusion.



rusted flashing/peeling paint



failing sealant



failing flashing



damage to flashing

3. Chimney

Observations:

- Previous waterproof patching observed around chimney at the time of the inspection. Recommend review of disclosure regarding timing and reason.
- The chimney was observed as being without the application of a cricket flashing at the time of the inspection. A cricket is designed to keep runoff from pooling on the uphill side of the chimney. Recommend evaluation by a licensed roofing contractor for the addition of a cricket at the chimney.
- Cracking observed on the exterior of the chimney at the time of the inspection. Recommend full inspection and remediation of masonry chimney by qualified contractor for safety of use including inspection of flue and clearance to combustibles.



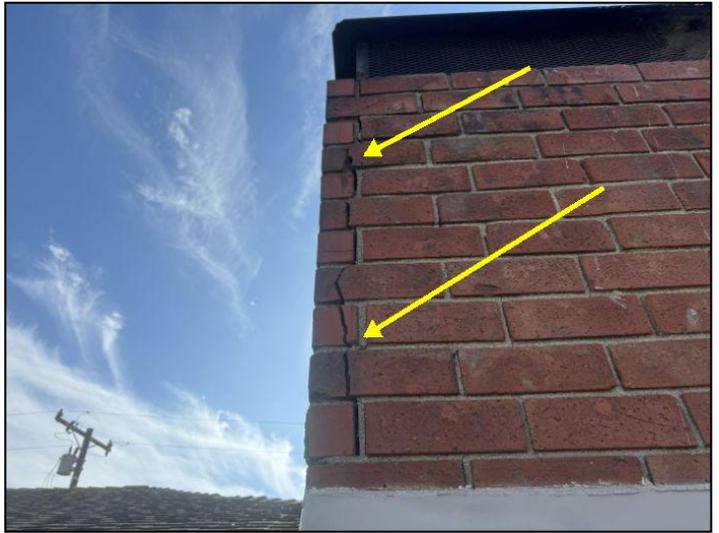
missing grout



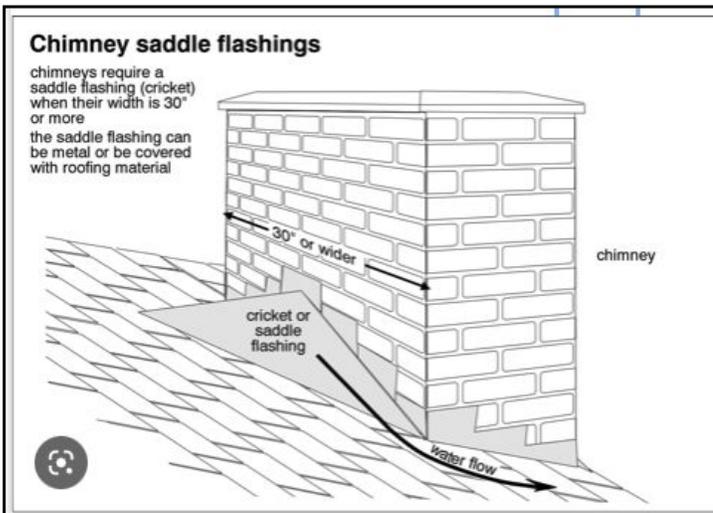
crack



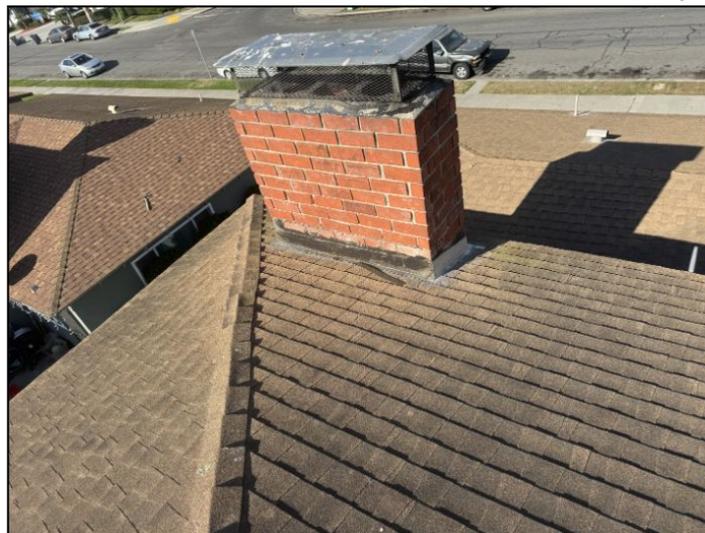
patch work



chimney crack



patch



no cricket

4. Gutter

Observations:

- Missing gutters observed at the time of the inspection. Full installation recommended to keep water away from structure. Water can weaken the foundation and deteriorate the siding. Be sure to install splashblocks or extensions to carry water away, and keep water from areas such as driveways or walkway. Recommend qualified contractor for remediation.



Garage

General Comments

Informational Conditions

It is not uncommon for moisture to penetrate garages due to their slabs being on-grade. Evidence of this is typically apparent in the form of efflorescence, or salt crystal formations that result when moisture penetrates the concrete slab or sidewalls. This is a common with garages that are below grade and some sidewalls are even cored to relieve the pressure that can build up behind them, which actually promotes drainage through the garage. If there is living space above the garage, that space will be seismically vulnerable. Ideally, the columns and beams around the garage door will be made of structural steel, but in many residences these components are made of wood but could include some structural accessories, such as post-straps, hold-downs and plywood shear paneling. In addition, garage door openings are not standard dimensions and you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles.

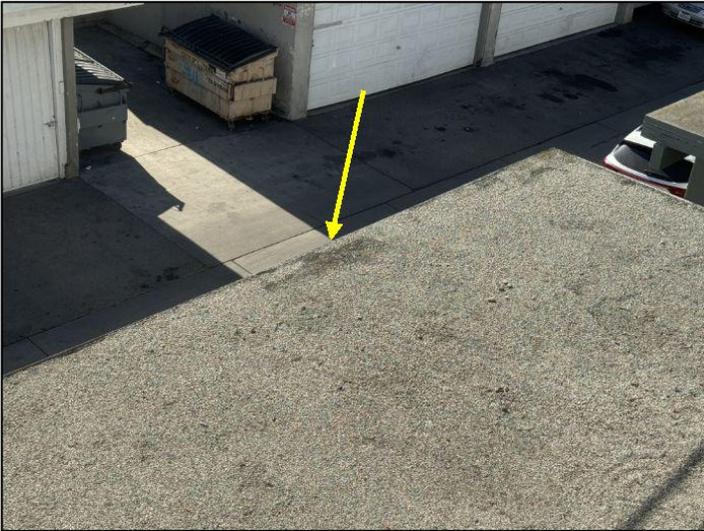
1. Roof Condition

Observations:

- Garage roof observed as sagging and missing granules, allowing for moisture intrusion at the time of the inspection. Recommend licensed and insured roofing contractor evaluate roof for remediation.
- Observed deterioration of garage roof from runoff at the time of the inspection. Recommend licensed roofer for remediation.



missing granules



damage from runoff



garage roof



2. Walls

Observations:

- Large hole in back of garage 2 observed at the time of the inspection. Disclosed by tenant it is in mid construction as current owner is in the middle of fixing. Recommend review of disclosures regarding all work and reason for said work. Recommend licensed and insured contractors for all work.
- Rusty cast iron drain line observed in wall in garage at the time of the inspection. Cast iron has a limited life expectancy. Recommend review of disclosures regarding any cast iron failures and qualified plumber for remediation.



hole in wall

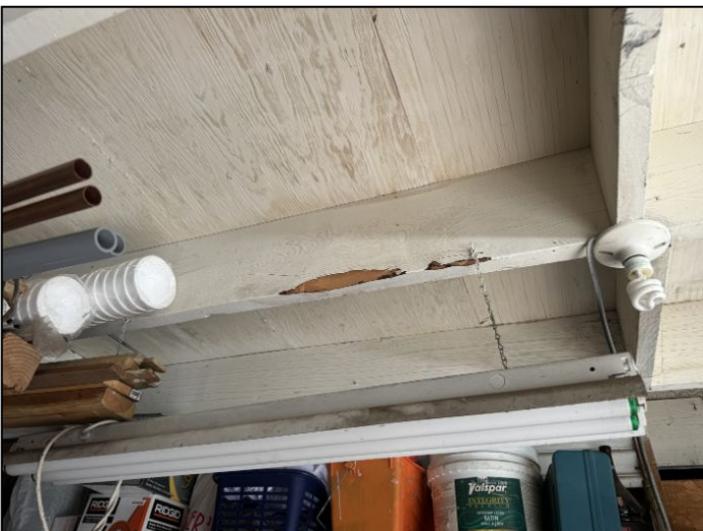


cast iron drain line

3. Rafters & Ceiling

Observations:

- Signs of suspected past or present pest activity in rafters at the time of the inspection. Recommend further evaluation by qualified contractor.
- Moisture intrusion and possible microbial growth observed in the garage at the time of the inspection. Recommend remediation by qualified contractor.
- Moisture stain observed in the ceiling of the garage at the time of the inspection. Indications of past or present leak, dry at the time of inspection. Recommend remediation by a licensed contractor to prevent further deterioration.
- Dark staining observed in garage ceiling at the time of the inspection. 15 year tenant expressed it had always been that way. Recommend further evaluation of garage roof to prevent any additional moisture damage.



possible pest



leaking roof - garage



moisture intrusion



possible moisture



moisture intrusion



suspected pest



dark staining

4. GFCI

Observations:

- We suggest buyer consider upgrading with **GFCI**'s at all garage receptacles along with any receptacles within 6 ft. of water. The GFCI will trip the breaker and help prevent shock if exposed to water. Recommend hiring a licensed electrician or remediation.

5. Garage Door Condition

Materials: One swinging door observed • One automatic door

Observations:

- Garage door and reverse eye sensors both noted as functional at the time of the inspection. (middle garage door)
- Both sides of the main garage door had deteriorated trim near the bottom at the time of the inspection. Open holes to the outside offer the opportunity for pest and moisture to enter the building's envelope. Recommend remediation by license professional.
- Third garage was observed as locked at the time of the inspection. Inspector unable to access garage and garage not included in the inspection report.



swing door with damage



rot to trim around garage



suspected pest



locked at the time of the inspection.

6. Personal Belongings

Observations:

- Personal belongings stored in the garage limited the scope of the visual inspection of the garage.



belongings



garage two

Heat/AC

General Comments

Informational Conditions

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years but can fail prematurely with poor maintenance, which is why we apprise you of their age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers. We perform a conscientious evaluation of both systems, but we are not specialists. Even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. In accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled during the inspection contingency period because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property. Our service does not include any form of warranty or guarantee.

1. Heater Condition

Observations:

- Small wall heaters observed as too close to combustibles in all apartments at the time of the inspection. Recommend maintaining appropriate distance to combustibles when running wall heaters to prevent fire hazard.
- Exposed cloth wiring observed below wall heaters at the time of the inspection. This is a defect. Recommend further evaluation by licensed electrician to prevent damage to exposed electrical conductor.
- Observed signs of possible wood destroying pests under wall heater at the time of the inspection. Recommend remediation by licensed and insured pest contractor.
- Living room wall heater in unit two was blowing only cold air at the time of the inspection. Recommend remediation by qualified professional.



too close to combustibles



exposed cloth wiring under wall heaters - multiple heaters



possible wood destroying pests.



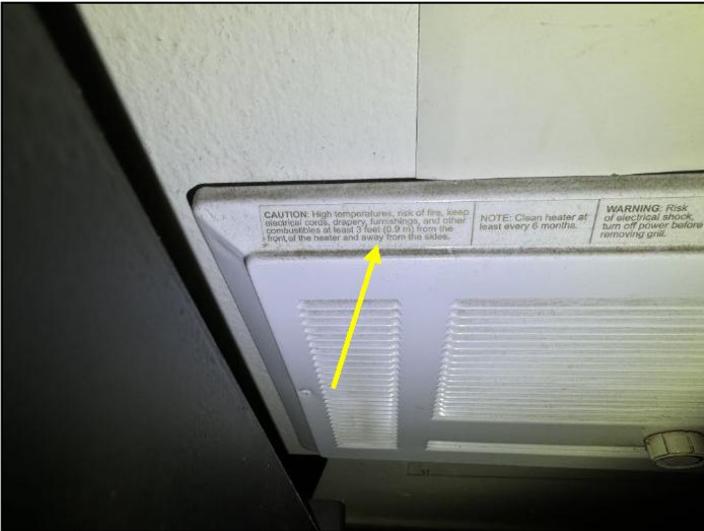
apt 2 heater non functional



close to combustibles -apt 2



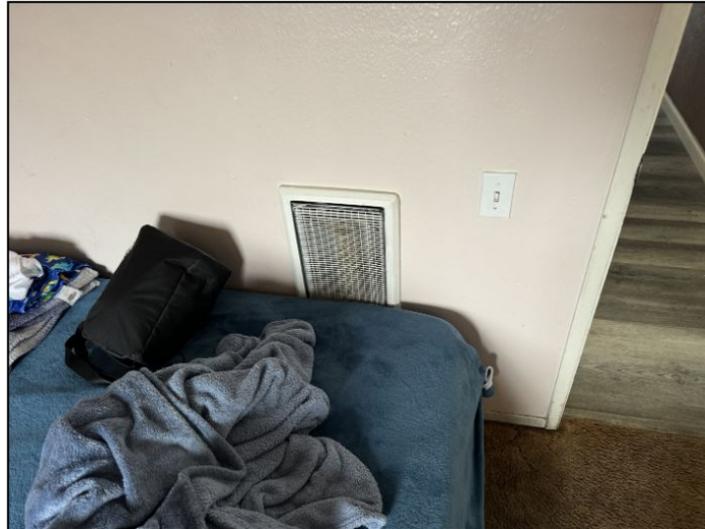
combustibles - apt 2



3 ft clearance to combustibles stated



exposed electrical cloth conductor - apt 3



too close to combustibles- apt 3

Water Heater

General Comments

Informational Conditions

There are a wide variety of residential water heaters that range in capacity from fifteen to one hundred gallons. While many water heaters last much longer, they can be expected to last at least as long as their warranty, or from five to eight years. Few of them last longer than fifteen or twenty years and many eventually leak. It is always wise to have them installed over a drain pan plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water softening systems. The water temperature should be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve.

1. Heater Enclosure

Observations:

- Water heaters observed as located in the back of clothing closets at the time of the inspection. Observed combustible material on and around water heaters at the time of the inspection. Recommend licensed and insured plumber evaluate and remediate all water heaters for function and safety.
- Unable to properly inspect water heaters due to obstructions at the time of the inspection. Recommend full evaluation of water heaters assembly by licensed and insured plumber.
- All water heaters observed in clothing closets with difficult access at the time of the inspection. Recommend appropriate clearance to combustibles as stated in manufacturers instructions for safety and access. Recommend working area and access made available at all water heater locations. Recommend evaluation by licensed and insured plumber.
- Signs of suspected wood destroying pests at the time of the inspection. Recommend qualified professional.



water heater hiding in closet -apt1



remove items from around and on top of water heater



apt 3



signs of wood destroying pest

2. Water Heater Condition

Heater Type: Electric

Location: The heater is located in the bedroom closets

Observations:

- Electric water heaters (all three) missing shut off in the same room as the heaters at the time of the inspection. Recommend remediation by licensed and insured plumber so heaters can be safely serviced/maintained.
- Moisture staining observed on the top of the heater at the time of the inspection. Recommend licensed and insured plumber evaluate and remediate as necessary.
- Multiple defects observed at the water heaters at the time of the inspection. Recommend licensed and insured plumber assess all water heating units for updated safety precautions and the need for remediation.
- Loose cover observed at the time of the inspection. Recommend licensed and insured plumber remediate.



missing electrical shut off-apt 1



functional - needs review



moisture staining- apt 1



loose electrical connection-apt 1



functional/needs review/apt 2



loose cover - apt 2



apt 2



apt 3

3. TPRV

Observations:

- There is no **LPR valve** extension pipe present on the water heaters at the time of the inspection. This is a safety concern and needs to be corrected at once. We recommend contacting a licensed plumber to install a proper valve pipe and safety evaluation of water heaters.



Missing TPR apt 1



apt 2- missing tpr



apt 3 - cannot confirm tpr downspout

4. Overflow Condition

Materials: None

Observations:

- With the addition of the pressure relief valve at the front of the house, an **expansion tank** for the water heaters would then be recommended as a safety measure due to the fact that the pressure relief valve creates a "closed loop system". This is a safety device not used when the home was built. Recommend remediation by a qualified plumber.
- Rust and signs of moisture in water heater pan at the time of the inspection. Unable to determine if an overflow line is attached. Recommend licensed and insured plumber further evaluate to prevent moisture damage in the even of tank failure.
- No pan or overflow line observed at the time of the inspection. Recommend license plumber remediate and assess safety of water heater assembly.



pan with rust-apt1



apt 2 -missing pan and extension



no pan - apt 3

5. Strapping

Observations:

- Loose strapping and missing wood blocking at the time of the inspection. Safety concern. Recommend remediation by licensed plumber to validate safety of water heater.



apt 2 - inadequate strapping



inadequate strapping - apt 3

Electrical

General Comments

Informational Conditions

There are a wide variety of electrical systems with an even greater variety of components and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems is that the national electrical code [NEC] is not retroactive and therefore many residential systems do not comply with the latest safety standards. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform load- calculations to determine if the supply meets the demand. Any inspecting done beyond the SCOPE or standards of practice is to be considered informative only. In the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed during the inspection contingency period, because an electrician could reveal additional deficiencies or recommend some upgrades for which we would disclaim any further responsibility. We typically recommend upgrading outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground interrupters and generally speaking, have been required in specific locations for more than thirty years. Beginning with swimming pools and exterior outlets in 1971, and the list has been added to ever since: bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, hydro tubs, massage equipment, boat houses, kitchens, and unfinished basements in 1987, crawlspaces in 1990, wet bars in 1993 and all kitchen counter top outlets since 1996. Similarly, AFCI's or arc fault circuit interrupters, represent the very latest in circuit breaker technology, and have been required in all bedroom circuits since 2002. In as much as arc faults cause thousands of electrical fires and hundreds of deaths each year, we categorically recommend installing them at every circuit as a prudent safety feature.

National safety standards require electrical panels to be readily accessible and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. We attempt to test every one that is unobstructed but while not be moving furniture or belongings in our inspection.

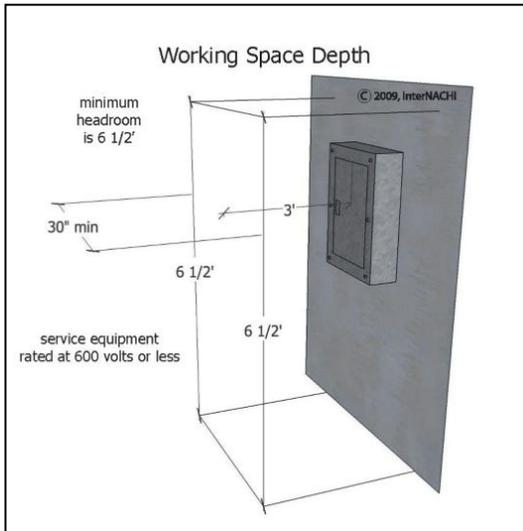
1. Electrical Panel

Location: Exterior of structure.

Location: Located in the second floor main hallway.

Observations:

- Due to lack of access to main panel, inspector unable to confirm Sub panel as having a 4 wire connection with equipment ground conductor at the time of the inspection. This cable is designed to be used in feeder panels and branch circuits providing 2 hots a neutral and equipment ground. Recommend further evaluation by licensed electrician.
- Unable to confirm ground rod attachments at electrical panels during the course of the general visual inspection. They may very well be properly attached below grade. Client may elect to have ground resistance verified by licensed and insured electrician.
- Double pole breakers observed without the use of a handle ties at the time of the inspection. Recommend licensed and insured electrician further evaluate for the addition of handle ties.
- Insufficient clearance to the electrical box was observed at the time of the inspection. Enough space should be provided to work on the electrical equipment. Standards require a clear area for access and working in front of an electric panel at least 36 inches in depth. the work space shall not be less than 30 inches wide in front of the electrical equipment and not less than the width of the equipment. The work space shall be clear and shall extend from the floor or platform to a height of 6.5 ft. or the height of the equipment, whichever is greater. Recommend qualified electrician remediate.
- Insufficient labeling observed on the electrical panels at the time of the inspection. Recommend licensed electrician troubleshoot to label in a fashion that anyone would be able to tell what the breaker feeds.
- Due to the age of the home and the observable defects on the day of the inspection, we recommend a licensed and insured electrician further evaluate and remediate the system as a whole as appropriate.
- Rust observed on the main panel dead front at the time of the inspection. Important to monitor and prevent all moisture from entering the electrical panel box. Recommend further evaluation by licensed electrician.
- Main panel on side of house observed as propped open and stuck in vegetation. This is a possible safety defect. Recommend removal of vegetation to prevent further moisture intrusion/damage and to close panel.
- Subpanels observed as having insufficient labeling at the time of the inspection. Recommend licensed electrician further evaluate and label in a way that can be easily determined by someone not living in the home.
- Main exterior panel observed as exposed to the elements with significant rust at the time of the inspection. Unable to remove rusted screw/cover at the time of the inspection. Recommend licensed and insured electrician inspect the main panel and electrical system as a whole.
- Significant paint/texture overspray observed in the electrical panels at the time of the inspection. Electrical panel should to be free from contaminants. Recommend further evaluation/remediation by licensed and insured electrician.
- Debris and possible pest droppings observed in the electrical panels at the time of the inspection. Recommend licensed electrician clean panels of all contaminates.
- Equipment grounds and neutrals observed as sharing a busbar at the time of the inspection. Grounds and neutrals should be kept separate in a subpanel, recommend further evaluation by licensed and insured electrician.
- Double tapped neutrals observed in the sub panels at the time of the inspection. This is a defect and possible safety hazard. Recommend remediation by licensed and insured electrician.
- Sharp-pointed metal screws observed as holing panel cover in place at the time of the inspection. These are a potential hazard as they may puncture wire insulation and electrify the panel box, becoming a shock or electrocution hazard. These screws should be replaced with approved, flat-tipped screws by licensed and insured contractors.
- Conductor in panel observed as pierced by use of a sharp screw at the time of the inspection. This is a safety issue and possible fire hazard, recommend remediation by licensed and insured electrician to prevent electrifying panel box or other electrical safety hazards. Panel was put back on the wall without the use of pointed screw and is therefore missing a screw at the time of the inspection. The pierced conductor and lack of proper screw should be addressed by licensed and insured electrician.
- Hole from unknown reason observed in the top of the electrical panel at the time of the inspection. This is a defect. Recommend remediation by licensed and insured electrician.
- Cloth wiring observed as entering sub panels without the addition of protective bushings at the time of the inspection. Recommend further evaluation/remediation by licensed and insured electrician.



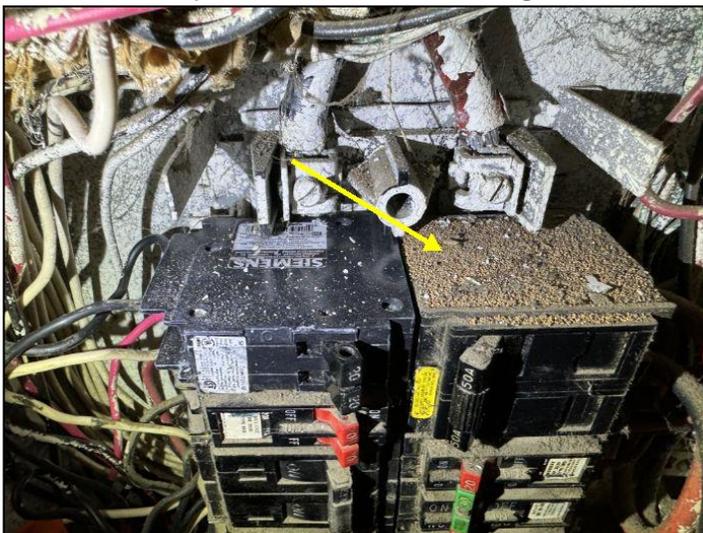
Too close to vegetation



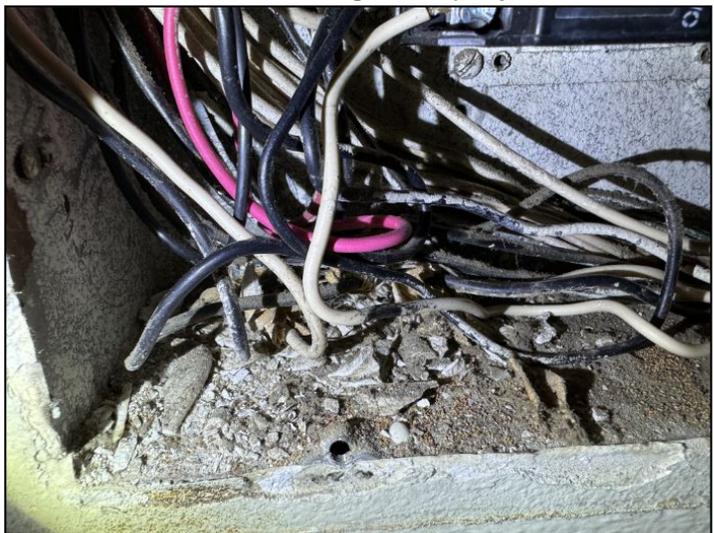
apt 1- insufficient labeling



Cloth wiring/overspray



signs of pest



dirt/pest activity



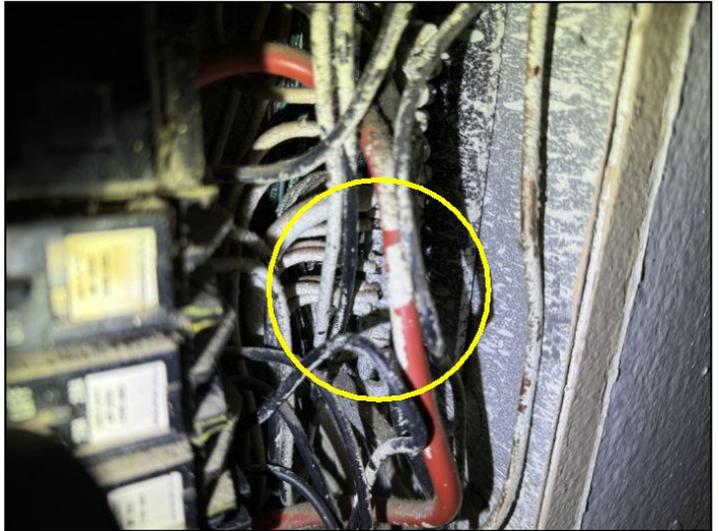
grounds and neutrals sharing bus bar



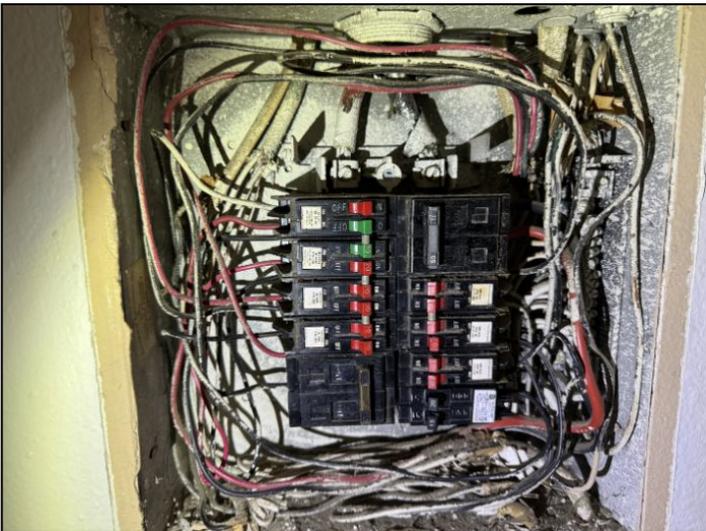
apt 2- insufficient labeling



dirt and grime/recommend cleaning out contaminants-apt 2



double tapped neutrals- apt 2



overspray - apt 2



apt 3 - labeling



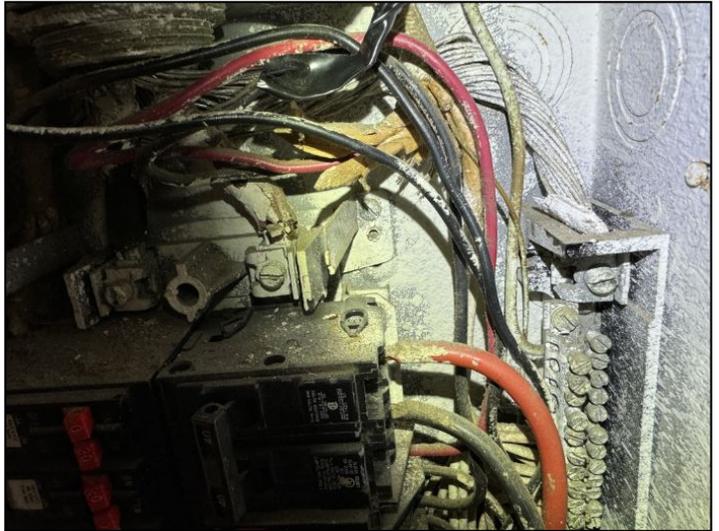
hole in conductor from pointed screw!



Hole in top of panel - apt 3



double tapped neutrals - apt 3



neutrals and grounds sharing bus bar - apt 3



overspray - apt 3



dangerous screw in electrical panel - apt 3



main panel



rusted shut

2. Main Amp Breaker

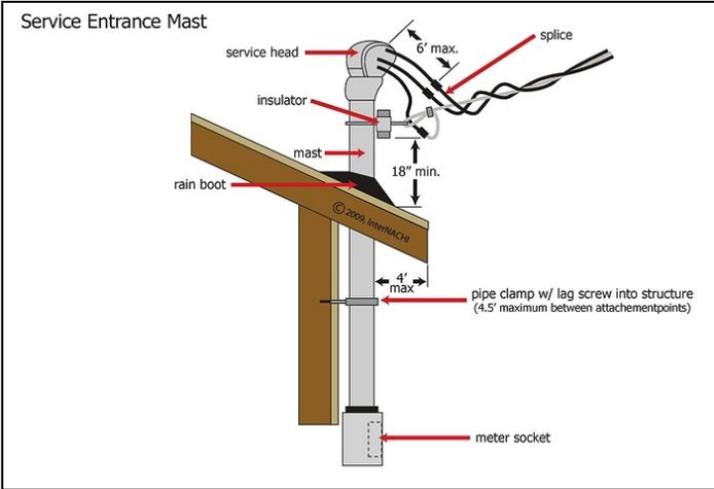


125 amps

3. Cable Feeds

Observations:

- The Service Entrance Cables were observed as being shorter than the allowable 18 inches from the roof and missing drip loops at the time of the inspection. Recommend qualified electrical contractor remediate.



4. Breakers

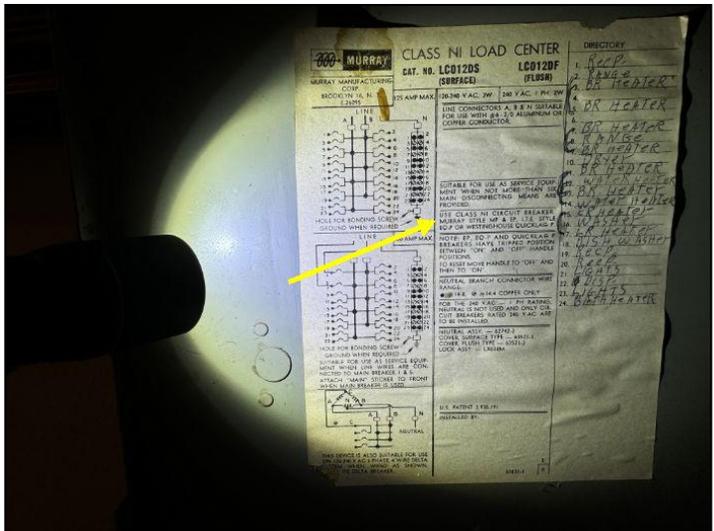
Materials: Cloth wiring observed. Recommend further evaluation by licensed electrician.

Observations:

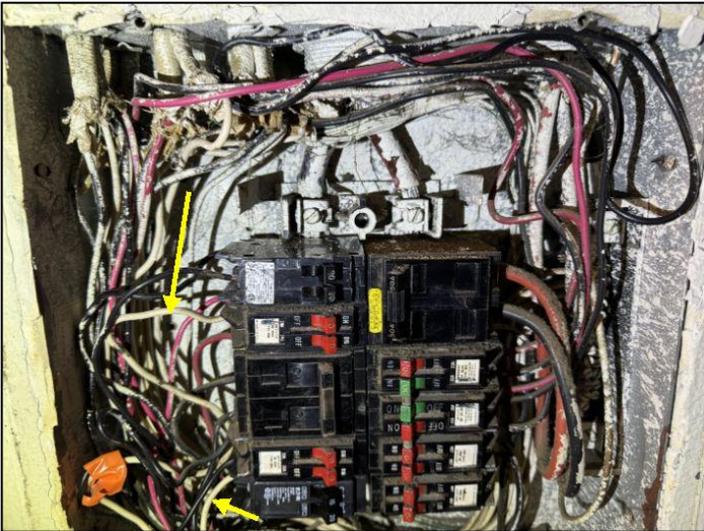
- No **AFCI** protection provided at the breakers observed at the time of the inspection. While AFCI protections may not have been required when the home was built, the National Electric Code states AFCI protection should be added where branch-circuit wiring is **modified, replaced, or extended**. We recommend client consider upgrading as they are now recommended for additional safety. A combination type arc-fault circuit interrupter should be installed to provide protection at all branch circuits that supply 120 volt, single-phase, 15 and 20 ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun rooms, recreations room, closets, hallways and similar room. Further evaluation by licensed electrician.
- **Mismatched Breakers**- The electrical panel had multiple brands of circuit breakers present at the time of the inspection. Most panel manufacturers call for specific type and brand circuit breakers to be used. A qualified electrical contractor should evaluate this panel and replace breakers that are not permitted to be used in this panel.
- **Double tapping of the neutral conductors on the bus bar** observed at the time of the inspection. This is a defect. Recommend qualified electrician remediate. Recommend licensed and insured electrician evaluate the original panel for a replacement.
- **Neutral (white) conductor** observed as being used as a hot conductor without being relabeled at the time of the inspection. Recommend further evaluation/remediation by licensed electrician.



miss matched breakers - apt 1



miss matched breakers



neutral used as hot



missmatched breakers



miss matched breakers - apt 3

Attic

General Comments

Informational Conditions

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous. In which case, we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, we do not sample or test the material for specific identification. We do not disturb or move any portion of the insulation and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other equipment.

1. Access

Observations:

- Personal belongings observed stored in attic and limiting scope of inspection.
- Electrical conductors observed as right next to the access points of the attic at the time of the inspection. It is recommended the conductors be moved 6 ft from the access point and secured at intervals not to exceed 54" to prevent any damage to the conductor when accessing the attic. Any conductors within 6 ft need to be protected with guard strips. Recommend licensed electrician remediate.



tenants belongings



2. Structure

Observations:

- Evidence of possible wood destroying pest observed at the time of the inspection. Recommend reviewing disclosures and hiring licensed pest professional for evaluation of attic structure and remediation.
- Gap in attic, showing daylight, observed at the time of the inspection. Recommend remediation by qualified contractor to prevent moisture and pest intrusion.



signs of wood destroying pests



suspected wood pest



pest droppings



light

3. Electrical

Observations:

- Outdated cloth wiring observed in the attic at the time of the inspection. Recommend further evaluation by licensed electrician for the need to upgrade of system for function and safety.
- Cloth wiring observed as damaged in the attic at the time of the inspection. This is a defect and possible fire hazard. Recommend remediation by licensed and insured electrician.
- Outdated cloth wiring observed as sandwiched between ceiling joists and plywood for storage at the time of the inspection. This is inviting damage to the conductors and could pose a safety/fire hazard. Recommend licensed electrician evaluate cloth wiring in attic and the removal of all conditions that threaten damaging the wires.



cloth wiring



damaged cloth wiring



defect - sandwiched cloth wires

4. Insulation Condition

Materials: Loose fill insulation noted.

Observations:

- Missing insulation observed in the attic at the time of the inspection. Recommend hiring qualified contractor for the installation of insulation in the attic to better maintain the home and efficacy of the HVAC systems.



missing insulation

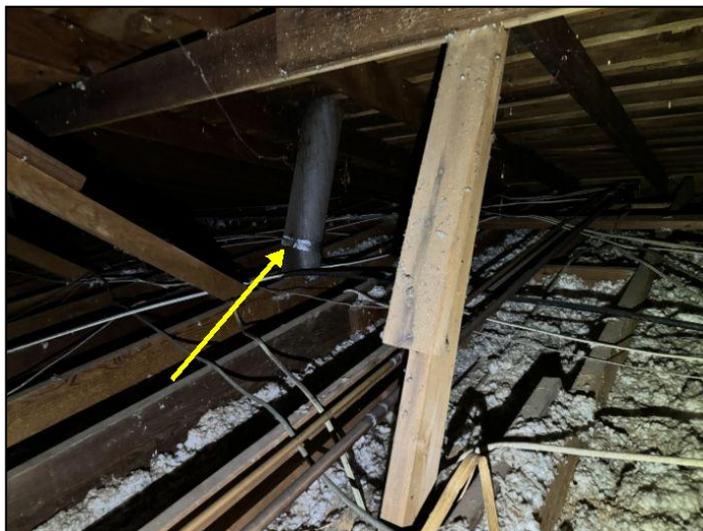


inadequate

5. Exhaust Vent

Observations:

- Loose tape observed on exhaust vent at the time of the inspection. Recommend establishing appropriate seal so all exhaust reaches exterior of structure.



loose tape on exhaust vent

6. Attic Condition

Observations:

- Sunlight observed through gaps and cracks in the attic at the time of the inspection. Recommend further evaluation and remediation by qualified contractor.

Interior Areas

General Comments

Informational Conditions

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments or move furniture, lift carpets or rugs, empty closets or cabinets and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. There are a host of lesser contaminants such as that from moisture penetrating, carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts and other porous surfaces which can be difficult to eradicate. As the sense of smell adjusts rapidly and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, particularly if you or any member of your family suffers from allergies or asthma and schedule whatever remedial services may be deemed necessary during your inspection contingency period. **Fireplaces:** There are a wide variety of chimneys, which represent an even wider variety of interrelated components that comprise them. However, there are three basic types: single walled metal, masonry and prefabricated metal ones that are commonly referred to as factory built. Single-walled metal ones should not be confused with factory-built metal ones, and are rarely found in residential use, but masonry and factory-built ones are commonplace. Our inspection of them is that of a generalist, not a specialist and meets industry standards. However, significant areas of chimney flues cannot be adequately viewed during a field inspection, as has been documented by the Chimney Safety Institute of America, which reported in 1992, "The inner reaches of a flue are relatively inaccessible and it should not be expected that the distant oblique view from the top of bottom is adequate to fully document damage even with a strong light." Therefore, because our inspection of chimneys is limited to those areas that can be viewed without dismantling any portion of them, and does not include the specialized equipment, we will not guarantee their integrity and agree with the National Fire Prevention Association that recommends that all chimneys be inspected before buying or selling a home. We recommend having a Certified Chimney Specialist conduct a level 2 inspection of the chimney and flue, prior to closing of escrow. Please see <https://www.csia.org/inspections.html> for additional information. **Fire extinguishers :** It is recommended having a fire extinguisher on every floor of a residence within 75 ft of each other. Depending on the fire extinguisher and purpose, these requirements may vary. Recommend installing fire extinguishers per manufacturers instructions as a fire safety measure.

1. Electrical

Observations:

- One or more non functional switches in all apartments at the time of the inspection. Tenant #2 disclosed non functional switches.
- Exposed electrical/missing outlet cover behind couch in apt 3 at the time of the inspection. Possible safety defect, recommend remediation by licensed and insured electrician.



Non-functional light switch



non functional switch apt 2



apt 3 - exposed electrical

2. Smoke Detectors

Observations:

- Smoke alarms should be installed in the following locations:
 - on the ceiling or wall outside of each separate sleeping area in the vicinity of the bedrooms;
 - in each bedroom, as most fires occur during sleeping hours;
 - in the basement, preferably on the ceiling near the basement stairs;
 - in the garage, due to all the combustible materials commonly stored there;
 - on the ceiling or on the wall with the top of the detector between 6 to 12 inches from the ceiling; and/or
 - in each story within a building, including basements and cellars, but not crawlspaces or uninhabited attics.
- Missing smoke detector in living areas at the time of the inspection. Recommend testing all smoke detectors to maintain proper fire safety.
- Multiple smoke detectors were observed as missing at the time of the inspection. Recommend installation of smoke detectors to help notify occupants in case of a fire.

3. Wall Condition

Materials: Drywall walls noted.

Observations:

- Incomplete/improper repair job of the baseboards noted in multiple areas throughout the home at the time of the inspection. Recommend remediation by licensed professional.
- One or more unfinished drywall patches observed at the time of the inspection. Recommend hiring qualified professional to patch and paint.
- Damage to walls observed at the time of the inspection. Recommend remediation by licensed and insured contractor.
- Possible microbial growth observed at the time of the inspection. Recommend having entire building tested and treated for possible microbial growth.



damage to walls-apt 1



missing baseboards-apt1



interior walls/possible micorbial growth- apt 1



damage - apt 1

4. Window Condition

Materials: Aluminum framed window noted.

Observations:

- Possible microbial growth observed on many of the window sills and the window treatments throughout the building at the time of the inspection. Recommend remediation by a qualified contractor.
- Significant damage observed to window sills at the time of the inspection. Recommend remediation by licensed and insured contractor.
- Many of the sliding windows were not functional at the time of the inspection. Recommend licensed contractor evaluate the need to replace existing sliding windows and doors.
- One or more of the sliding windows throughout the home was loose on the tracks and non functional at the time of the inspection. Recommend qualified contractor for remediation.
- Damaged/missing screens observed at the time of the inspection. Recommend fixing and replacing all missing/screens by licensed professional.
- Significant damage to window sills observed in apt 3 at the time of the inspection. Recommend evaluation of reason and remediation by licensed and insured contractor.



possible microbial growth-apt 1



possible microbial growth



Broken screen



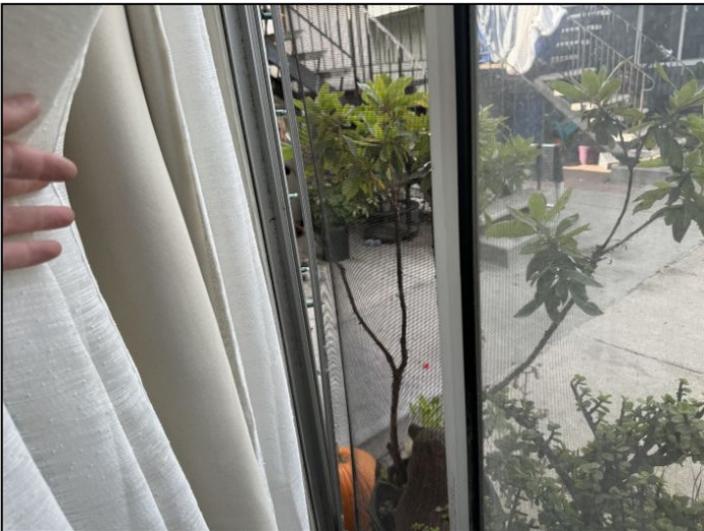
damage to window sills - Apt 1



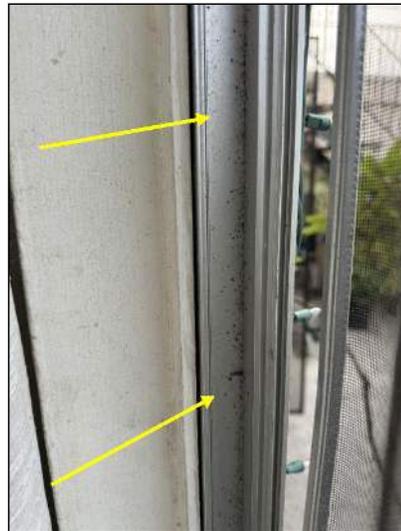
damage/difficult windows



non functional - found in all apts.



apt 2 screen



suspected microbial growth apt 2



apt 2



apt 2



apt 3



screwed shut- apt 3



damage to window sill - apt 3

5. Floor Condition

Materials: Carpet noted • Linoleum

Observations:

- Significant wear and tear of flooring observed at the time of the inspection.

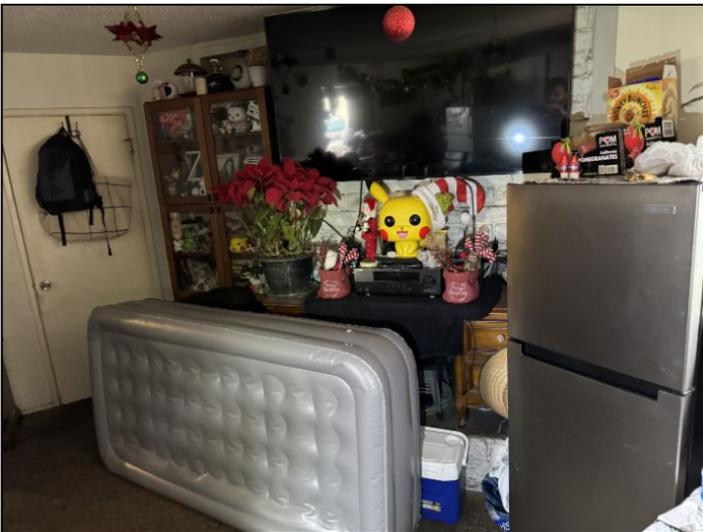
6. Fireplace

Materials: Living Room

Materials: Masonry fireplace noted.

Observations:

- Many aspects of the fireplace/chimney including interior of the flue(s) are not fully visible and beyond the scope during the course of a general visual inspection. The NFPA (National Fire Prevention Association) recommends that all fireplaces, chimneys, etc receive a level 2 inspection before buying and selling a home. In our opinion, this is a prudent recommendation. We recommend having a Certified Chimney Specialist service and check prior to close. Correct any defects if present. Any questions regarding inspection recommendations please see www.csia.org/inpections.html
- Due to the age of the home and unknown maintenance to the fireplace we recommend having a fireplace professional evaluate and repair any issues found before attempting to use fireplace.
- Lack of a smoke detector in the same room as the fireplace observed at the time of the inspection. Recommend installation of smoke detectors in all appropriate locations by a qualified contractor.
- Owners belongings prevented visual inspection of masonry fireplace in two apartments at the time of the inspection. Recommend having all fireplaces inspected and serviced by a qualified and insured chimney/fireplace contractor before use.
- Missing grout observed in the hearth of the fireplace at the time of the inspection. Recommend inspection and remediation by qualified fireplace professional.
- Significant build up observed in the fireplace/chimney at the time of the inspection. Recommend servicing and inspecting of masonry fireplace by qualified professional.



owners belongings-apt 1 fireplace



missing grout - apt 2



build up- apt 2

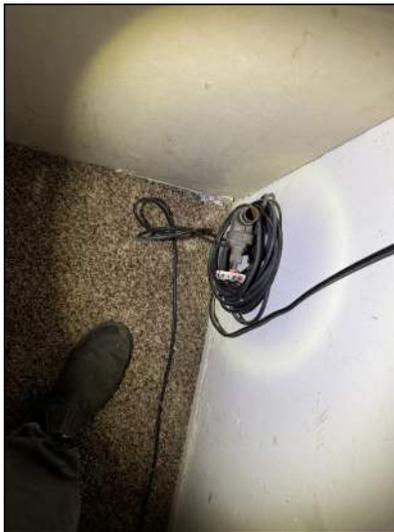


apt 2



apt 3- fireplace obstructed

7. Closets



abandoned plumbing in closet- apt 1

8. Ceiling Condition

Materials: Sprayed acoustic ceilings noted at the time of the inspection.

Observations:

- "Popcorn" textured ceilings observed at the time of the inspection. Due to the age of the home is it possible the material contains asbestos. The U.S. Environmental Protection Agency (EPA) and the Consumer Product Safety Commission report that asbestos represents a health hazard if friable damaged, crumbling or in a state that allows the release of fibers into the air. The client may wish to have this ceiling material tested by a qualified lab to determine if it does contain asbestos. Recommend licensed and insured abatement company for evaluation and removal if decided.

Due to the age of the construction, there may be other materials within the home that contain asbestos but are not identified by this inspection report.

- Acoustic, possible asbestos containing, ceiling observed as damages and fraying at the time of the inspection. This may be a health/safety defect. Recommend further evaluation for the presence of asbestos and remediation of damages ceilings. Present in all apartments
- see "bedroom ceilings" for patch info



damage to ceiling apt1



apt 2



apt 3



previous patch apt 3



fraying acoustic - apt 3

Kitchen

General Comments

Informational Conditions

We test kitchen appliances for their functionality and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may exhibit a decrease in efficiency. Many older gas and electric ranges are not secured and can be easily tipped, particularly when any weight is applied to an open range door and all such appliances should be confirmed to be secure. We do not inspect the following items: free-standing appliances, refrigerators, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills or rotisseries, timers, clocks, thermostats, the self-cleaning capability of ovens and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards.

1. Cabinets

Observations:

- Suspected microbial growth observed on cabinetry at the time of the inspection. Recommend evaluation and remediation by qualified specialist.



suspected growth - apt 3

2. Counters

Observations:

- Personal belongings limited scope of inspection.



belongings



personal belongings-counter/cabinets/floors- apt1



belongings- apt 3

3. Garbage Disposal

Observations:

- Garbage disposal observed as non functional at the time of the inspection.

4. Cook top condition

Observations:

- Gas cook top noted. Operated and functional at the time of the inspection.

5. Oven & Range

Observations:

- Oven: Electric oven
- Oven not run at the time of the inspection due to owners belongings in oven. Recommend running oven before close of escrow.

6. Sinks

Observations:

- Hole in wall behind sink at the time of the inspection. Recommend remediation by licensed contractor.
- Over notched wall observed to accommodate drain line at the time of the inspection. Recommend further evaluation/remediation by licensed contractor.
- Signs of moisture intrusion behind kitchen sinks observed at the time of the inspection. Recommend remediation by qualified contractor.
- Cracked caulking observed on kitchen counter at the time of the inspection. Recommend remediation by qualified contractor.
- Loose faucet observed at the time of the inspection. Recommend remediation by qualified contractor.
- Signs of suspected microbial growth under sink at the time of the inspection. Recommend further evaluation and remediation by licensed and insured professional.
- Signs of leaking in downspout observed in kitchen sink at the time of the inspection. Recommend remediation by qualified professional.



hole back of sink-appt 1/ notched wall -apt 1



belongings under sink apt1



moisture intrusion/corrosion apt1



cracks in caulking - apt 3



suspected growth/leaking - apt 3



suspected growth/grime - apt 3



loose faucet- apt 3



leak -apt 3

7. Vent Condition

Observations:

- Significant grease build up on vent and on the cabinetry at time of the inspection. Recommend cleaning and removal.
- Exhaust vent observed as leaking grease at the time of the inspection. Recommend remediation by qualified contractor.
- Exhaust vent observed as not functioning at the time of the inspection. Recommend remediation by qualified contractor.



grease covered- apt 1



vent leaking - apt 3



suspected growth/suspected wood pests- apt 3



grease/non functional fan - apt 3

8. Window Condition

Observations:

- See "interior window condition"



non functional window -apt 3

9. Ceiling Condition

Materials: There are drywall ceilings noted.

Observations:

- Significant grease staining in apt. 1 kitchen at the time of the inspection. Recommend remediation by licensed professional.



grease covering kitchen



grease stains

10. Electrical

Observations:

- Dripping grease observed over electrical outlet in the kitchen at the time of the inspection. Recommend remediation by qualified professional to prevent any electrical damage/safety issues.
- Non functional light observed at the time of the inspection.
- Outlet under sink missing cover with signs of rust and moisture intrusion at the time of the inspection. This is a defect/safety issue. Recommend licensed electrician remediate and licensed contractor to prevent further moisture intrusion under sink.
- Extension cord used in a permanent installation. This is a defect, recommend evaluation and remediation by qualified electrician so appliances are able to plug in without the use of an extension cord.



grease on electrical outlet apt 1



non functional light- apt 1



exposed electrical/moisture intrusion- apt 1



extention cord - apt 3

11. GFCI

Observations:

- Missing GFCI protection observed in the kitchen sink at the time of the inspection. For safety, we recommend licensed electrician replace all outlets in the kitchen with GFCI protection to prevent electrical hazard.



no GFCI-apt 1



missing GFCI apt 2



missing GFCI - apt 3



missing GFCI - apt 3

12. Wall Condition



Apt 1

Bedrooms

General Comments

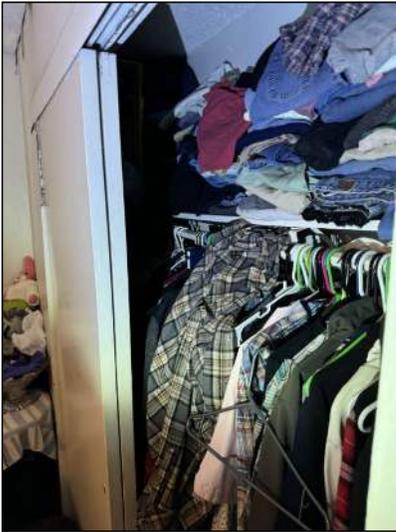
Informational Conditions

In accordance with the standards of practice, our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets and closets and includes the testing of a representative number of windows and doors, switches and outlets. We evaluate windows to ensure that they can adequately facilitate an emergency exit or egress but we do not evaluate window treatments, nor do we move furniture, lift carpets or rugs, empty closets or cabinets or comment on common cosmetic deficiencies.

1. Closets

Observations:

- Significant amount of owners belongings in closets at the time of the inspection. General visual inspection limited.
- Closet door observed as difficult to use at the time of the inspection. Recommend remediation by qualified professional.
- Damage to closet door observed at the time of the inspection.



personal belongings-apt1



difficult to use - apt 2

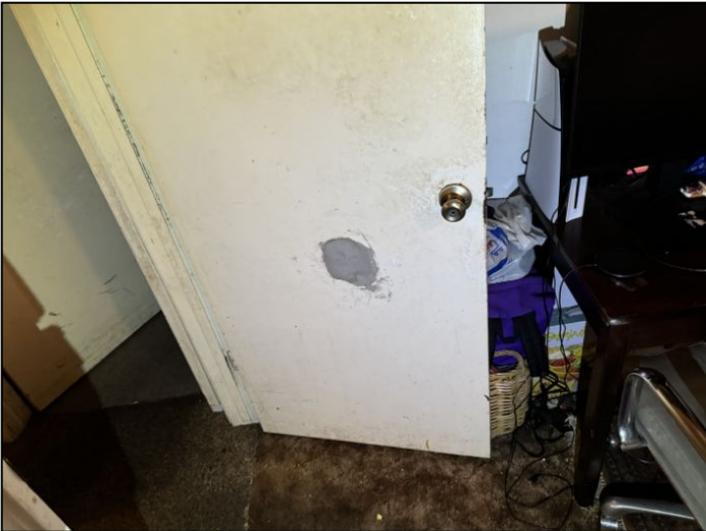


closet door damage - apt 3

2. Doors

Observations:

- Bedroom door observed as damaged at the time of the inspection. Recommend remediation by licensed professional.
- Hole in bedroom door observed at the time of the inspection.



damage to door



apt 3 damage to bedroom door

3. Electrical

Observations:

- Unable to determine functionality of wall switches at the time of the inspection due to tenants belongings. Recommend evaluation of which outlet switches are connected to.

4. Floor Condition

Observations:

- Excessive personal belongs limited the scope of the bedroom inspection.



belongings/limitations-apt1



apt 1 belongings



apt 1



tenant belongings



apt 2 - belongings



belongings limiting inspection- apt 2



apt 3 belongings

5. Window Condition

Materials: Aluminum framed sliding window noted.
Observations:

- See "Interior window condition"



dirt/possible microbial growth/difficult to use -apt 1

damage to window - apt 1



apt 2



apt 3



damage to sill - apt 3



apt 3



broken screen apt 3

6. Ceiling Condition

Materials: There are drywall ceilings noted.

Observations:

- See "interior ceiling"
- Possible moisture staining in ceiling, dry at the time of the inspection. Recommend licensed and insured contractor further evaluate/remediate.
- Previous patch work observed in the ceiling at the time of the inspection. Significant moisture damage disclosed by tenant. Recommend researching disclosures regarding time period and reason for work.
- Visible staining and possible moisture damage dry at the time of the inspection, on the ceiling, at the time of the inspection. We recommend contacting a qualified contractor to evaluate the roof, the attic and the drywall in this area and repair as necessary.



Possible asbestos



possible moisture stain-apt 1



previous patch job - apt 2



staining-apt 2



apt 2 previous patch



ceiling stains apt 2



patch work - apt 3

Bathroom

General Comments *Informational Conditions* Bathrooms can consist of many features from whirlpool tubs and showers to toilets and bidets. Because of all the plumbing involved, much of which is not visible, it is not always possible for the inspector to view and identify every plumbing issue. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel and other problems. In accordance with industry standards, we do not comment on common cosmetic deficiencies and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans, which may be the responsibility of a termite inspector. Due to the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

1. Cabinets

Observations:

- Suspected microbial growth observed under sink at the time of the inspection. Recommend remediation by licensed and insured professional.
- Damage to cabinet at the time of the inspection. Recommend qualified professional remediate.



possible microbial growth



apt 2- suspected microbial growth - apt2

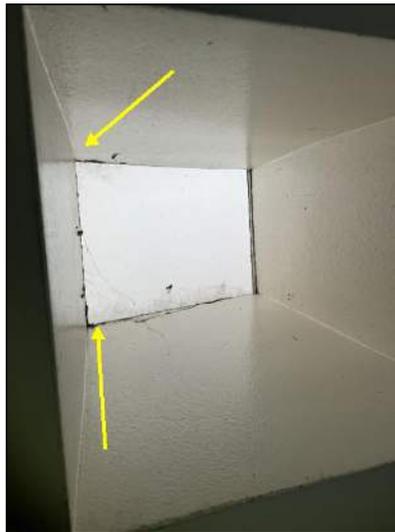


damage - apt 3



rusting in cabinet - apt 3

2. Ceiling Condition



possible microbial growth

3. GFCI

Observations:

- No GFCI -

Electrical outlets in one or more bathroom appeared to be in serviceable condition at the time of the inspection but had no Ground Fault Circuit Interrupter (GFCI) protection.

Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider having GFCI protection installed as a safety precaution for outlets within 6 feet of a plumbing fixture.



missing GFCI protection-apt1

4. Exhaust Fan

Observations:

- Bathroom fans observed as dirty at the time of the inspection. Recommend cleaning of fan for efficient ventilation.
- Bathroom fan observed as excessively noisy at the time of the inspection. Recommend remediation by qualified contractor.



apt 1 - dirty fan



dirty fan- apt 1



dirty fan- apt 2



loud fan apt 3

5. Floor Condition

Observations:

- Numerous cracks noted in the bathroom between the floor and baseboards at the time of the inspection. Recommend remediation by qualified contractor to prevent additional moisture intrusion and damage.
- Moisture damage and cracking observed to the floor next to shower at the time of the inspection. Multiple areas/appts. Recommend remediation by licensed contractor.



floor damage- apt 1

6. Mirrors

Observations:

- The mirror glass is cracked.

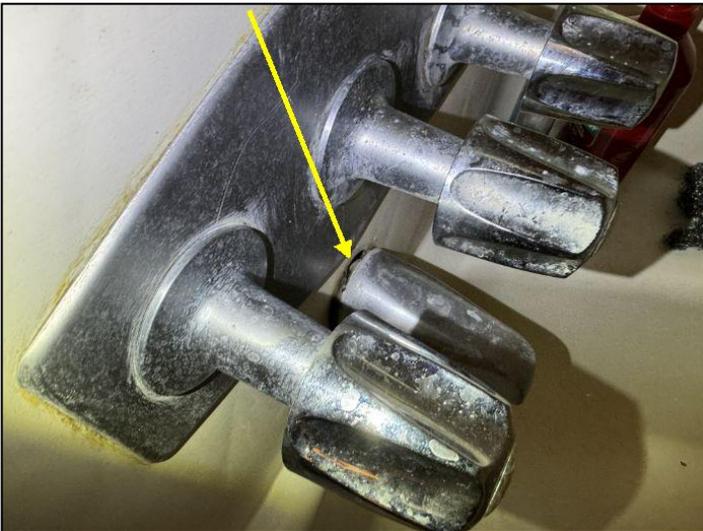


broken mirror -apt 3

7. Showers

Observations:

- Tape observed for unknown reason in shower at the time of the inspection.
- Bathroom faucet observed as having a gap at connection point at the time of the inspection. Recommend licensed plumber remediate to prevent further moisture intrusion.
- Signs of leaking at shower knobs at the time of the inspection. Recommend remediation by licensed plumber to prevent continued moisture intrusion.
- Shower door observed as non functional and damaged at the time of the inspection. Recommend remediation by qualified professional.
- Staining observed to shower floor at the time of the inspection.
- Shower faucet in bathroom observed as leaking at the time of the inspection. This is defect. Recommend remediation by licensed plumber.



apt 1- gap at faucet



signs of leaking -apt 1



apt 2 non functional door



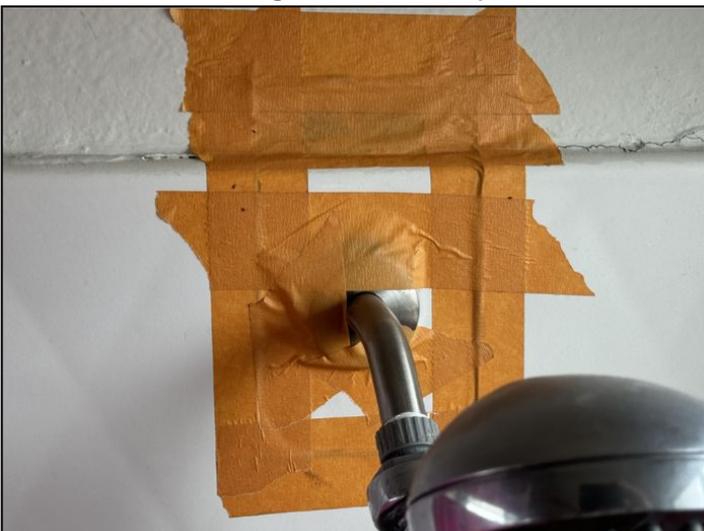
apt 2 damage door



staining in shower - apt 2



apt 3 - missing door



apt 3 - unknown tape



leaking faucet- apt 3

8. Shower Walls

Observations:

- Cracking in caulking observed at the time of the inspection. Recommend cleaning and replacing all cracked caulking to prevent moisture intrusion. Recommend remediation by qualified contractor.
- Suspected microbial growth observed in the shower at the time of the inspection. Recommend removal and replacement of all dirty caulking to maintain effective water seal. Recommend qualified professional evaluate and remediate.
- Small holes in the shower wall observed at the time of the inspection. Recommend qualified contractor, shower wall penetrations to prevent moisture intrusion.
- Failing waterproofing observed on the exterior shower wall at the time of the inspection. Recommend remediation by qualified contractor.
- Signs of blistering, damage to shower walls observed at the time of the inspection. Recommend qualified contractor remediate to prevent further deterioration.



seal top of shower inclosures



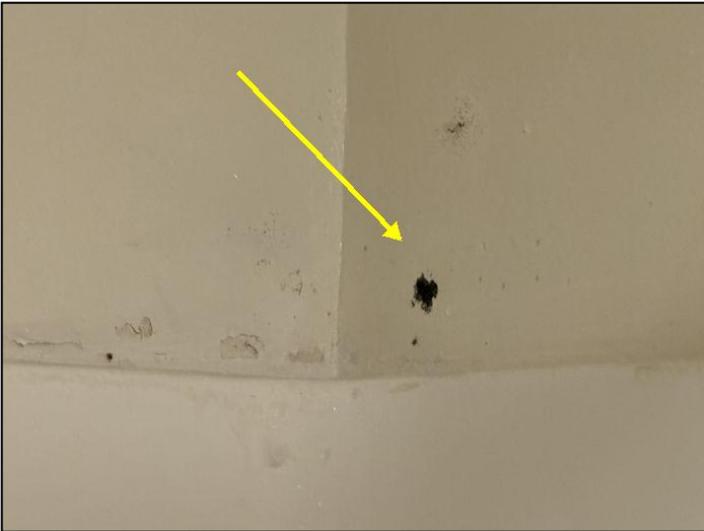
settlement crack/possible microbial growth/ 1



apt 1



apt 2



suspected microbial growth-apt 2



apt 2



failing sealant - apt 3



suspected microbial growth - apt 3



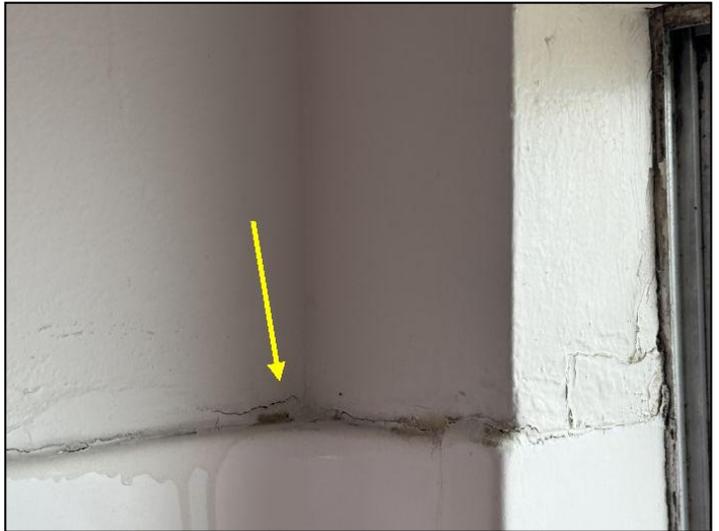
apt 3



seal cracks - apt 3



suspected growth - apt 3



apt 3- seal all cracks



signs of blistering - apt 3

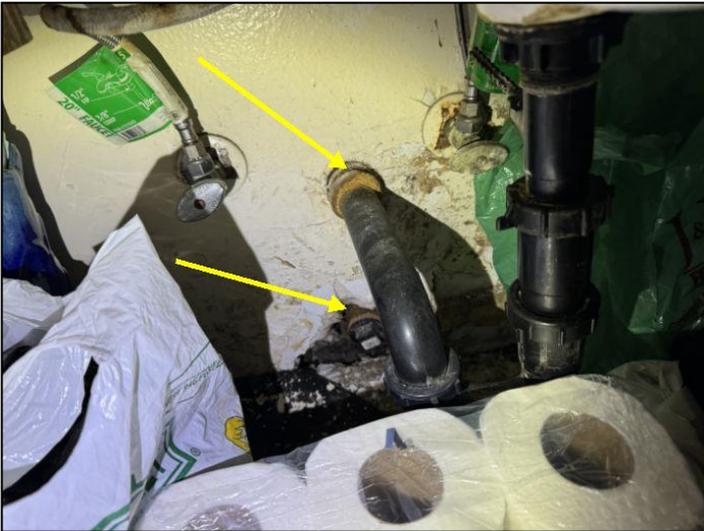


blistering - apt 3

9. Sinks

Observations:

- Corrosion at drain connections observed at the time of the inspection. Cast iron drain lines observed in the wall at the time of the inspection. Recommend further review and remediation by licensed and insured plumber regarding corrosion and expected functional life of the cast iron drain lines.
- Possible microbial growth observed at the time of the inspection. Recommend further review and remediation by licensed and insured professional.
- Sink faucet observed as significantly corroded at the time of the inspection. Recommend licensed and insured plumber for replacement.
- Signs of leaking plumbing below the sink at the time of the inspection. Recommend remediation by licensed plumber.
- Hole in wall behind sink at the time of the inspection. Recommend remediation by qualified contractor.



damage to wall/corrosion/cast iron - apt 1



damage to wall -apt 1



damaged faucet



corrosion/signs of leak- apt 1



apt 3 - hole

10. Toilets

Observations:

- Moisture and possible microbial growth observed around the toilet at the time of the inspection. Recommend further evaluation by a qualified contractor.
- Rust observed at toilet connection at the time of the inspection. Recommend remediation by licensed and insured plumber.



rust/possible leak- apt 1



moisture signs - apt 3

11. Window Condition

Observations:

- See "interior window condition"



broken screen

12. Bathroom walls

Observations:

- Moisture intrusion and deterioration of wood observed next to shower door at the time of the inspection. Recommend sealing all cracks and gaps in and around the shower to prevent moisture and intrusion.
- Observed possible microbial growth observed on bathrooms walls and ceilings at the time of the inspection. Recommend further evaluation and remediation by qualified contractor.
- Damage to wall above sink observed at the time of the inspection. Recommend remediation by licensed contractor.



damage to wall- apt 1



apt one- possible microbial growth



damage to walls-apt 1



possible microbial growth -apt 1



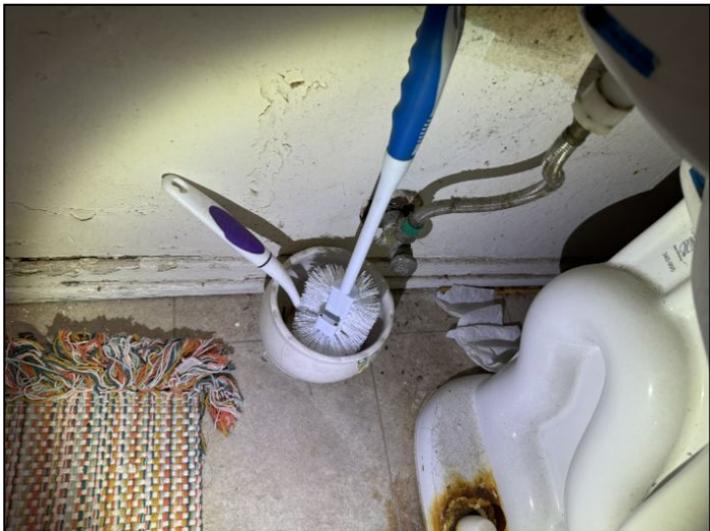
possible microbial growth- apt 1



apt 1- possible microbial growth



damage to wall/suspected microbial growth



suspected microbial growth -apt 1



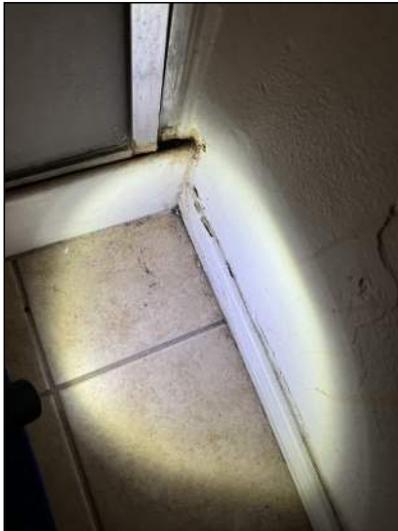
damage to wall - apt 1



moisture damage- apt 2



suspected microbial growth- apt 2



apt 2



apt 3



apt 3



apt 3

Residential Earthquake Hazards Report

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1. Is the water heater braced, strapped, or anchored to resist falling during an earthquake?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2. Is the house anchored or bolted to the foundation?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. If the house has cripple walls:
a. Are the exterior cripple walls braced?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

b. If the exterior foundation consists of unconnected concrete piers and posts, have they been strengthened?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. If the exterior foundation, or part of it, is made of unreinforced masonry, has it been strengthened?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. If the house is built on a hillside:
a. Are the exterior tall foundation walls braced?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

b. Were the tall posts or columns either built to resist earthquakes or have they been strengthened?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

6. If the exterior walls of the house, or part of them, are made of unreinforced masonry, have they been strengthened?

Yes	No	N/A	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

7. If the house has a living area over the garage, was the wall around the garage dooropening either built to resist earthquakes or has it been strengthened?

Yes	No	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

8. Is the house outside an Alquist-Priolo Earthquake Fault Zone (zones immediately surrounding known earthquake faults)?

Yes	No	Don't Know
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

9. Is the house outside a Seismic Hazard Zone (zone identified as susceptible to liquefaction or landsliding)?

EXECUTED BY:

(Seller)

(Seller)

Date

I acknowledge receipt of this form, completed and signed by the seller. I understand that if the seller has answered "No" to one or more questions, or if seller has indicated a lack of knowledge, there may be one or more earthquake weaknesses in this house.

(Buyer)

(Buyer)

Date

Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Expansion Tank	An expansion tank or expansion vessel is a small tank used to protect closed (not open to atmospheric pressure) water heating systems and domestic hot water systems from excessive pressure. The tank is partially filled with air, whose compressibility cushions shock caused by water hammer and absorbs excess water pressure caused by thermal expansion.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency or a defect requiring minor or major expense to correct, or possibly items that require further review from a qualified specialist. The summary is not a complete list of all the findings in the report and reflects the opinion of the inspector on the time and date of the inspection. Please review all pages of the report. All repairs should be done by a licensed and bonded tradesman or professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done. Also, I recommend you inquire with your agent about a home warranty.

Since I never know who will be occupying or visiting a property, whether it be children or elderly, I ask you to consider following these general safety recommendations: Install smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; upgrade older electrical systems by at least adding ground-fault outlets; never service any electrical equipment without first disconnecting the power source, consider installing child safe locks and alarms on the exterior doors of all pool and spa properties. I am proud of my service, and trust that you will be happy with the quality of this report. I've made every effort to provide you with an accurate assessment of the condition of the property and its components to alert you to any significant defects or adverse conditions. However, I may not have tested every outlet and opened every window or door or identified every minor defect. Also, because I'm not a specialist, and because my inspection is essentially visual, latent defects could exist. Therefore, you should not regard my inspection as conferring any guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components, and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Thank you for taking the time to read this report and call me if you have any questions or observations. I am always attempting to improve the quality of my service and my report, and will continue to adhere to the highest standards of the real estate industry and treat everyone with kindness, courtesy, and respect. In the summary pages, in **BLUE**, a brief summary of any **CRITICAL** concerns of the inspection as they relate to safety and function examples would be bare, electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including normal maintenance items. Please be sure to read your entire report.

For your safety and liability, I recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled, or part of an addition, I recommend that you verify permits and certificate of occupancy. This is important, because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit and a defect could exist.

Depending on your needs, and those who will be on this property, items listed in the body of the report may also be a concern to you. Be sure to read your inspection report and its entirety.

Note: if there are no comments in **BLUE** below, there were no **CRITICAL** system or safety concerns with this property at the time of the inspection. This summary report will provide you with a preview of the components or conditions that need service or a second opinion, but it is not definitive. Therefore, it is essential that you read the full report. Regardless, in recommending service, I have fulfilled my contractual obligation as a generalist, and therefore claim any further responsibility. However, service is essential and should be completed during the inspection. Because a specialist could identify further defects or recommend some upgrades that could affect your valuation of the property. This report is the exclusive property of Cal Certified Inspections and the client whose name appears within, and its use by any unauthorized person is prohibited.

Grounds		
Page 5 Item: 1	Grading	<ul style="list-style-type: none"> The exterior grading was observed as improperly sloped in a couple locations around the foundation not allowing for the appropriate fall away from the home. Recommend creating the proper slope away from the foundation to allow for proper drainage and prevent moisture damage to the home. Remediation by licensed contractor recommended.
Page 6 Item: 2	Vegetation Observations	<ul style="list-style-type: none"> Vegetation observed as resting against the house at the time of the inspection. This may lead to damage of siding or moisture entry. Recommend evaluating the need to trim back vegetation. Signs of excess moisture in the garden area lining the front of the home at the time of the inspection. Recommend monitoring sprinklers and water pooling to prevent excess moisture from pooling next to the home's foundation.

Page 7 Item: 3	Stairs & Handrail	<ul style="list-style-type: none"> • Open stair risers exceeded the 4 inches allowable for child safety standards observed at the time of the inspection. Recommend remediation by licensed professional. • The spacing between the stairs and the handrail was observed as larger than the allowable 6 inches at the time of the inspection. Recommend remediation by a licensed professional to prevent small children falling hazards. • Significant rust/spalling observed on the stairs and balcony at the time of the inspection. This may increase chances of failure. Recommend remediation by licensed and insured contractor to prevent additional deterioration and prevent any failure of a safety guard. • Observed possible microbial growth on the stairs/balcony at the time of the inspection. Recommend remediation by licensed professional.
Page 9 Item: 6	Plumbing	<ul style="list-style-type: none"> • Corrosion/rust on cast iron is noted at the time of the inspection. Consult with a licensed plumbing contractor to determine and correct the issue.
Page 9 Item: 7	Water Pressure	<ul style="list-style-type: none"> • 80 psi observed at the time of the inspection. This may put undo stress on your pipes. Recommend adjusting pressure down to a max of 70psi.
Page 10 Item: 9	Balcony	<ul style="list-style-type: none"> • Horizontal cracking observed on the balcony at the time of the inspection. Recommend structural engineer or qualified contractor evaluate and remediate to prevent further deterioration/failure.
Exterior Areas		
Page 11 Item: 1	Eaves & Facia	<ul style="list-style-type: none"> • Signs of dirt and possible microbial growth under the eaves observed at the time of the inspection. Recommend cleaning. Recommend remediation by a licensed professional. • Peeling paint observed on the exterior of the home at the time of the inspection. Recommend qualified contractor remediate. • Roof flashing lifted at the time of the inspection. Recommend remediation by qualified contractor to remediate to prevent moisture intrusion. • Gap observed in eaves at the time of the inspection. Recommend sealing all gaps and cracks in exterior of structure by qualified contractor. • Signs of possible wood destroying pests around the exterior of the home at the time of the inspection. Recommend for the evaluation by qualified contractor. • Peeling paint/possible dry rot, and suspected pest intrusion under the eaves at the time of the inspection. Recommend further remediation by qualified contractor.

Page 13 Item: 2	Stucco	<ul style="list-style-type: none"> • Small settlement cracks in the stucco observed at the time of the inspection. We recommend monitoring and sealing holes & gaps in the stucco to keep water infiltration from causing further damage. • The exterior stucco appears to be stained from roof runoff at the time of the inspection. Moisture penetration and possible microbial growth observed on the stucco at the time of the inspection. Recommend remediation by a licensed contractor to prevent further deterioration. • Cracks in stucco extending from window at the time of the inspection. There is stucco missing in areas of the exterior. Recommend having a qualified exterior finish contractor evaluate and correct the issue. • There was small patches of stucco missing in areas of the exterior at the time of the inspection. We recommend having a qualified contractor evaluate and repair the areas. • Previous stucco patch jobs for exterior of structure observed at the time of the inspection. • Spalling and signs of moisture observed on base of the exterior of the home at the time of the inspection. Moisture in the building wall can cause serious issues. Important to maintain proper grading so all no moisture settles next to the home. Recommend hiring licensed contractor to remediate. See "grading". • Significant cracking observed on the exterior of the home at the time of the inspection. Recommend structural engineer or qualified contractor evaluate and remediate as appropriate. • Deterioration of stucco under balcony at the time of the inspection. Recommend remediation by qualified contractor. • Cracks and gaps observed in stucco around exterior of structure at the time of the inspection. Recommend filling all cracks and gaps to prevent moisture and pest intrusion. • Large access panel without cover observed at the time of the inspection. Recommend qualified contractor seal hole to prevent moisture/pest intrusion.
Roof		
Page 17 Item: 1	Roof Condition	<ul style="list-style-type: none"> • Garage roof observed as slightly sagging in the middle at the time of the inspection. Recommend further evaluation and remediation by licensed and insured contractor. • Moisture observed as settling in multiple spots on the drainage plane of the roof at the time of the inspection. Possible microbial growth/moss observed, Recommend license and insured roofer evaluate for remediation. • Exposed fasteners on the ridge line of the roof at the time of the inspection. Recommend remediation by licensed contractor. • Shingles worn down exposing the fiberglass observed at the time of the inspection. This is a sign the roof is at or near the end of its functional life. Recommend evaluation and remediation by licensed and insured roofing company. • Shingles observed as split on the ridge line at the time of the inspection. Recommend qualified roofer remediate.
Page 19 Item: 2	Flashing	<ul style="list-style-type: none"> • Previous repairs to the flashing where the roof meets the wall were observed at the time of the inspection. Recommend hiring licensed contractor to seal all gaps and cracks in the flashing/stucco to prevent moisture or pest intrusion. • Roof flashing observed as lifted-up from the roof at the time of the inspection. Recommend licensed and insured roofing contractor remediate to prevent moisture and pest intrusion. • Multiple areas of the flashing observed as damaged at the time of the inspection. Recommend replacement of all damaged flashing to insure the prevention of moisture intrusion. • Rusted flashing observed with peeling paint at the time of the inspection. Recommend remediation by licensed and insured roofer. • Previous repairs to the flashing where the roof meets the wall were observed at the time of the inspection. Recommend hiring licensed contractor to seal all gaps and cracks in the flashing/stucco to prevent moisture or pest intrusion.

Page 20 Item: 3	Chimney	<ul style="list-style-type: none"> • The chimney was observed as being without the application of a cricket flashing at the time of the inspection. A cricket is designed to keep runoff from pooling on the uphill side of the chimney. Recommend evaluation by a licensed roofing contractor for the addition of a cricket at the chimney. • Cracking observed on the exterior of the chimney at the time of the inspection. Recommend full inspection and remediation of masonry chimney by qualified contractor for safety of use including inspection of flue and clearance to combustibles.
Page 22 Item: 4	Gutter	<ul style="list-style-type: none"> • Missing gutters observed at the time of the inspection. Full installation recommended to keep water away from structure. Water can weaken the foundation and deteriorate the siding. Be sure to install splashblocks or extensions to carry water away, and keep water from areas such as driveways or walkway. Recommend qualified contractor for remediation.
Garage		
Page 22 Item: 1	Roof Condition	<ul style="list-style-type: none"> • Garage roof observed as sagging and missing granules, allowing for moisture intrusion at the time of the inspection. Recommend licensed and insured roofing contractor evaluate roof for remediation. • Observed deterioration of garage roof from runoff at the time of the inspection. Recommend licensed roofer for remediation.
Page 24 Item: 2	Walls	<ul style="list-style-type: none"> • Large hole in back of garage 2 observed at the time of the inspection. Disclosed by tenant it is in mid construction as current owner is in the middle of fixing. Recommend review of disclosures regarding all work and reason for said work. Recommend licensed and insured contractors for all work. • Rusted cast iron drain line observed in wall in garage at the time of the inspection. Cast iron has a limited life expectancy. Recommend review of disclosures regarding any cast iron failures and qualified plumber for remediation.
Page 24 Item: 3	Rafters & Ceiling	<ul style="list-style-type: none"> • Signs of suspected past or present pest activity in rafters at the time of the inspection. Recommend further evaluation by qualified contractor. • Moisture intrusion and possible microbial growth observed in the garage at the time of the inspection. Recommend remediation by qualified contractor. • Moisture stain observed in the ceiling of the garage at the time of the inspection. Indications of past or present leak, dry at the time of inspection. Recommend remediation by a licensed contractor to prevent further deterioration. • Dark staining observed in garage ceiling at the time of the inspection. 15 year tenant expressed it had always been that way. Recommend further evaluation of garage roof to prevent any additional moisture damage.
Page 26 Item: 4	GFCI	<ul style="list-style-type: none"> • We suggest buyer consider upgrading with GFCIs at all garage receptacles along with any receptacles within 6 ft. of water. The GFCI will trip the breaker and help prevent shock if exposed to water. Recommend hiring a licensed electrician or remediation.
Page 26 Item: 5	Garage Door Condition	<ul style="list-style-type: none"> • Both sides of the main garage door had deteriorated trim near the bottom at the time of the inspection. Open holes to the outside offer the opportunity for pest and moisture to enter the building's envelope. Recommend remediation by license professional. • Third garage was observed as locked at the time of the inspection. Inspector unable to access garage and garage not included in the inspection report.

Heat/AC		
Page 27 Item: 1	Heater Condition	<ul style="list-style-type: none"> • Small wall heaters observed as too close to combustibles in all apartments at the time of the inspection. Recommend maintaining appropriate distance to combustibles when running wall heaters to prevent fire hazard. • Exposed cloth wiring observed below wall heaters at the time of the inspection. This is a defect. Recommend further evaluation by licensed electrician to prevent damage to exposed electrical conductor. • Observed signs of possible wood destroying pests under wall heater at the time of the inspection. Recommend remediation by licensed and insured pest contractor. • Living room wall heater in unit two was blowing only cold air at the time of the inspection. Recommend remediation by qualified professional.
Water Heater		
Page 30 Item: 1	Heater Enclosure	<ul style="list-style-type: none"> • Water heaters observed as located in the back of clothing closets at the time of the inspection. Observed combustible material on and around water heaters at the time of the inspection. Recommend licensed and insured plumber evaluate and remediate all water heaters for function and safety. • Unable to properly inspect water heaters due to obstructions at the time of the inspection. Recommend full evaluation of water heaters assembly by licensed and insured plumber. • All water heaters observed in clothing closets with difficult access at the time of the inspection. Recommend appropriate clearance to combustibles as stated in manufacturers instructions for safety and access. Recommend working area and access made available at all water heater locations. Recommend evaluation by licensed and insured plumber. • Signs of suspected wood destroying pests at the time of the inspection. Recommend qualified professional.
Page 31 Item: 2	Water Heater Condition	<ul style="list-style-type: none"> • Electric water heaters (all three) missing shut off in the same room as the heaters at the time of the inspection. Recommend remediation by licensed and insured plumber so heaters can be safely serviced/maintained. • Moisture staining observed on the top of the heater at the time of the inspection. Recommend licensed and insured plumber evaluate and remediate as necessary. • Multiple defects observed at the water heaters at the time of the inspection. Recommend licensed and insured plumber assess all water heating units for updated safety precautions and the need for remediation. • Loose cover observed at the time of the inspection. Recommend licensed and insured plumber remediate.
Page 32 Item: 3	TPRV	<ul style="list-style-type: none"> • There is no TPRV valve extension pipe present on the water heaters at the time of the inspection. This is a safety concern and needs to be corrected at once. We recommend contacting a licensed plumber to install a proper valve pipe and safety evaluation of water heaters.
Page 33 Item: 4	Overflow Condition	<ul style="list-style-type: none"> • Rust and signs of moisture in water heater pan at the time of the inspection. Unable to determine if an overflow line is attached. Recommend licensed and insured plumber further evaluate to prevent moisture damage in the even of tank failure. • No pan or overflow line observed at the time of the inspection. Recommend license plumber remediate and assess safety of water heater assembly.
Page 34 Item: 5	Strapping	<ul style="list-style-type: none"> • Loose strapping and missing wood blocking at the time of the inspection. Safety concern. Recommend remediation by licensed plumber to validate safety of water heater.

Electrical		
<p>Page 36 Item: 1</p>	<p>Electrical Panel</p>	<ul style="list-style-type: none"> • Insufficient clearance to the electrical box was observed at the time of the inspection. Enough space should be provided to work on the electrical equipment. Standards require a clear area for access and working in front of an electric panel at least 36 inches in depth. the work space shall not be less than 30 inches wide in front of the electrical equipment and not less than the width of the equipment. The work space shall be clear and shall extend from the floor or platform to a height of 6.5 ft. or the height of the equipment, whichever is greater. Recommend qualified electrician remediate. • Insufficient labeling observed on the electrical panels at the time of the inspection. Recommend licensed electrician troubleshoot to label in a fashion that anyone would be able to tell what the breaker feeds. • Due to the age of the home and the observable defects on the day of the inspection, we recommend a licensed and insured electrician further evaluate and remediate the system as a whole as appropriate. • Rust observed on the main panel dead front at the time of the inspection. Important to monitor and prevent all moisture from entering the electrical panel box. Recommend further evaluation by licensed electrician. • Main panel on side of house observed as propped open and stuck in vegetation. This is a possible safety defect. Recommend removal of vegetation to prevent further moisture intrusion/damage and to close panel. • Subpanels observed as having insufficient labeling at the time of the inspection. Recommend licensed electrician further evaluate and label in a way that can be easily determined by someone not living in the home. • Main exterior panel observed as exposed to the elements with significant rust at the time of the inspection. Unable to remove rusted screw/cover at the time of the inspection. Recommend licensed and insured electrician inspect the main panel and electrical system as a whole. • Significant paint/texture overspray observed in the electrical panels at the time of the inspection. Electrical panel should to be free from contaminants. Recommend further evaluation/remediation by licensed and insured electrician. • Debris and possible pest droppings observed in the electrical panels at the time of the inspection. Recommend licensed electrician clean panels of all contaminates. • Equipment grounds and neutrals observed as sharing a busbar at the time of the inspection. Grounds and neutrals should be kept separate in a subpanel, recommend further evaluation by licensed and insured electrician. • Double tapped neutrals observed in the sub panels at the time of the inspection. This is a defect and possible safety hazard. Recommend remediation by licensed and insured electrician. • Sharp-pointed metal screws observed as holing panel cover in place at the time of the inspection. These are a potential hazard as they may puncture wire insulation and electrify the panel box, becoming a shock or electrocution hazard. These screws should be replaced with approved, flat-tipped screws by licensed and insured contractors. • Conductor in panel observed as pierced by use of a sharp screw at the time of the inspection. This is a safety issue and possible fire hazard, recommend remediation by licensed and insured electrician to prevent electrifying panel box or other electrical safety hazards. Panel was put back on the wall without the use of pointed screw and is therefore missing a screw at the time of the inspection. The pierced conductor and lack of proper screw should be addressed by licensed and insured electrician. • Hole from unknown reason observed in the top of the electrical panel at the time of the inspection. This is a defect. Recommend remediation by licensed and insured electrician. • Cloth wiring observed as entering sub panels without the addition of protective bushings at the time of the inspection. Recommend further evaluation/remediation by licensed and insured electrician.

Page 40 Item: 3	Cable Feeds	<ul style="list-style-type: none"> • The Service Entrance Cables were observed as being shorter than the allowable 18 inches from the roof and missing drip loops at the time of the inspection. Recommend qualified electrical contractor remediate.
Page 41 Item: 4	Breakers	<ul style="list-style-type: none"> • Mismatched Breakers- The electrical panel had multiple brands of circuit breakers present at the time of the inspection. Most panel manufacturers call for specific type and brand circuit breakers to be used. A qualified electrical contractor should evaluate this panel and replace breakers that are not permitted to be used in this panel. • Double tapping of the neutral conductors on the bus bar observed at the time of the inspection. This is a defect. Recommend qualified electrician remediate. Recommend licensed and insured electrician evaluate the original panel for a replacement. • Neutral (white) conductor observed as being used as a hot conductor without being relabeled at the time of the inspection. Recommend further evaluation/remediation by licensed electrician.
Attic		
Page 43 Item: 1	Access	<ul style="list-style-type: none"> • Electrical conductors observed as right next to the access points of the attic at the time of the inspection. It is recommended the conductors be moved 6 ft from the access point and secured at intervals not to exceed 54" to prevent any damage to the conductor when accessing the attic. Any conductors within 6 ft need to be protected with guard strips. Recommend licensed electrician remediate.
Page 43 Item: 2	Structure	<ul style="list-style-type: none"> • Evidence of possible wood destroying pest observed at the time of the inspection. Recommend reviewing disclosures and hiring licensed pest professional for evaluation of attic structure and remediation. • Gap in attic, showing daylight, observed at the time of the inspection. Recommend remediation by qualified contractor to prevent moisture and pest intrusion.
Page 44 Item: 3	Electrical	<ul style="list-style-type: none"> • Outdated cloth wiring observed in the attic at the time of the inspection. Recommend further evaluation by licensed electrician for the need to upgrade of system for function and safety. • Cloth wiring observed as damaged in the attic at the time of the inspection. This is a defect and possible fire hazard. Recommend remediation by licensed and insured electrician. • Outdated cloth wiring observed as sandwiched between ceiling joists and plywood for storage at the time of the inspection. This is inviting damage to the conductors and could pose a safety/fire hazard. Recommend licensed electrician evaluate cloth wiring in attic and the removal of all conditions that threaten damaging the wires.
Page 45 Item: 4	Insulation Condition	<ul style="list-style-type: none"> • Missing insulation observed in the attic at the time of the inspection. Recommend hiring qualified contractor for the installation of insulation in the attic to better maintain the home and efficacy of the HVAC systems.
Page 45 Item: 5	Exhaust Vent	<ul style="list-style-type: none"> • Loose tape observed on exhaust vent at the time of the inspection. Recommend establishing appropriate seal so all exhaust reaches exterior of structure.
Page 46 Item: 6	Attic Condition	<ul style="list-style-type: none"> • Sunlight observed through gaps and cracks in the attic at the time of the inspection. Recommend further evaluation and remediation by qualified contractor.
Interior Areas		
Page 47 Item: 1	Electrical	<ul style="list-style-type: none"> • One or more non functional switches in all apartments at the time of the inspection. Tenant #2 disclosed non functional switches. • Exposed electrical/missing outlet cover behind couch in apt 3 at the time of the inspection. Possible safety defect, recommend remediation by licensed and insured electrician.
Page 47 Item: 2	Smoke Detectors	<ul style="list-style-type: none"> • Missing smoke detector in living areas at the time of the inspection. Recommend testing all smoke detectors to maintain proper fire safety. • Multiple smoke detectors were observed as missing at the time of the inspection. Recommend installation of smoke detectors to help notify occupants in case of a fire.

Page 48 Item: 3	Wall Condition	<ul style="list-style-type: none"> • Incomplete/improper repair job of the baseboards noted in multiple areas throughout the home at the time of the inspection. Recommend remediation by licensed professional. • One or more unfinished drywall patches observed at the time of the inspection. Recommend hiring qualified professional to patch and paint. • Damage to walls observed at the time of the inspection. Recommend remediation by licensed and insured contractor. • Possible microbial growth observed at the time of the inspection. Recommend having entire building tested and treated for possible microbial growth.
Page 49 Item: 4	Window Condition	<ul style="list-style-type: none"> • Possible microbial growth observed on many of the window sills and the window treatments throughout the building at the time of the inspection. Recommend remediation by a qualified contractor. • Significant damage observed to window sills at the time of the inspection. Recommend remediation by licensed and insured contractor. • Many of the sliding windows were not functional at the time of the inspection. Recommend licensed contractor evaluate the need to replace existing sliding windows and doors. • One or more of the sliding windows throughout the home was loose on the tracks and non functional at the time of the inspection. Recommend qualified contractor for remediation. • Damaged/missing screens observed at the time of the inspection. Recommend fixing and replacing all missing/screens by licensed professional. • Significant damage to window sills observed in apt 3 at the time of the inspection. Recommend evaluation of reason and remediation by licensed and insured contractor.
Page 52 Item: 6	Fireplace	<ul style="list-style-type: none"> • Lack of a smoke detector in the same room as the fireplace observed at the time of the inspection. Recommend installation of smoke detectors in all appropriate locations by a qualified contractor. • Owners belongings prevented visual inspection of masonry fireplace in two apartments at the time of the inspection. Recommend having all fireplaces inspected and serviced by a qualified and insured chimney/fireplace contractor before use. • Missing grout observed in the hearth of the fireplace at the time of the inspection. Recommend inspection and remediation by qualified fireplace professional. • Significant build up observed in the fireplace/chimney at the time of the inspection. Recommend servicing and inspecting of masonry fireplace by qualified professional.
Page 53 Item: 8	Ceiling Condition	<ul style="list-style-type: none"> • "Popcorn" textured ceilings observed at the time of the inspection. Due to the age of the home is it possible the material contains asbestos. The U.S. Environmental Protection Agency (EPA) and the Consumer Product Safety Commission report that asbestos represents a health hazard if friable damaged, crumbling or in a state that allows the release of fibers into the air. The client may wish to have this ceiling material tested by a qualified lab to determine if it does contain asbestos. Recommend licensed and insured abatement company for evaluation and removal if decided. <p>Due to the age of the construction, there may be other materials within the home that contain asbestos but are not identified by this inspection report.</p> <ul style="list-style-type: none"> • Acoustic, possible asbestos containing, ceiling observed as damages and fraying at the time of the inspection. This may be a health/safety defect. Recommend further evaluation for the presence of asbestos and remediation of damages ceilings. Present in all apartments • see "bedroom ceilings" for patch info
Kitchen		
Page 55 Item: 1	Cabinets	<ul style="list-style-type: none"> • Suspected microbial growth observed on cabinetry at the time of the inspection. Recommend evaluation and remediation by qualified specialist.

Page 56 Item: 3	Garbage Disposal	<ul style="list-style-type: none"> • Garbage disposal observed as non functional at the time of the inspection.
Page 57 Item: 6	Sinks	<ul style="list-style-type: none"> • Hole in wall behind sink at the time of the inspection. Recommend remediation by licensed contractor. • Over notched wall observed to accommodate drain line at the time of the inspection. Recommend further evaluation/remediation by licensed contractor. • Signs of moisture intrusion behind kitchen sinks observed at the time of the inspection. Recommend remediation by qualified contractor. • Cracked caulking observed on kitchen counter at the time of the inspection. Recommend remediation by qualified contractor. • Loose faucet observed at the time of the inspection. Recommend remediation by qualified contractor. • Signs of suspected microbial growth under sink at the time of the inspection. Recommend further evaluation and remediation by licensed and insured professional. • Signs of leaking in downspout observed in kitchen sink at the time of the inspection. Recommend remediation by qualified professional.
Page 58 Item: 7	Vent Condition	<ul style="list-style-type: none"> • Significant grease build up on vent and on the cabinetry at time of the inspection. Recommend cleaning and removal. • Exhaust vent observed as leaking grease at the time of the inspection. Recommend remediation by qualified contractor. • Exhaust vent observed as not functioning at the time of the inspection. Recommend remediation by qualified contractor.
Page 59 Item: 8	Window Condition	<ul style="list-style-type: none"> • See "interior window condition"
Page 60 Item: 9	Ceiling Condition	<ul style="list-style-type: none"> • Significant grease staining in appt. 1 kitchen at the time of the inspection. Recommend remediation by licensed professional.
Page 60 Item: 10	Electrical	<ul style="list-style-type: none"> • Dripping grease observed over electrical outlet in the kitchen at the time of the inspection. Recommend remediation by qualified professional to prevent any electrical damage/safety issues. • Non functional light observed at the time of the inspection. • Outlet under sink missing cover with signs of rust and moisture intrusion at the time of the inspection. This is a defect/safety issue. Recommend licensed electrician remediate and licensed contractor to prevent further moisture intrusion under sink. • Extension cord used in a parent permanent installation. This is a defect, recommend evaluation and remediation by qualified electrician so appliances are able to plug in without the use of an extension cord.
Page 61 Item: 11	GFCI	<ul style="list-style-type: none"> • Missing GFCI protection observed in the kitchen sink at the time of the inspection. For safety, we recommend licensed electrician replace all outlets in the kitchen with GFCI protection to prevent electrical hazard.
Bedrooms		
Page 63 Item: 1	Closets	<ul style="list-style-type: none"> • Closet door observed as difficult to use at the time of the inspection. Recommend remediation by qualified professional. • Damage to closet door observed at the time of the inspection.
Page 63 Item: 2	Doors	<ul style="list-style-type: none"> • Bedroom door observed as damaged at the time of the inspection. Recommend remediation by licensed professional. • Hole in bedroom door observed at the time of the inspection.
Page 66 Item: 5	Window Condition	<ul style="list-style-type: none"> • See "Interior window condition"

Page 67 Item: 6	Ceiling Condition	<ul style="list-style-type: none"> • See "interior ceiling" • Possible moisture staining in ceiling, dry at the time of the inspection. Recommend licensed and insured contractor further evaluate/remediate. • Previous patch work observed in the ceiling at the time of the inspection. Significant moisture damage disclosed by tenant. Recommend researching disclosures regarding time period and reason for work. • Visible staining and possible moisture damage dry at the time of the inspection, on the ceiling, at the time of the inspection. We recommend contacting a qualified contractor to evaluate the roof, the attic and the drywall in this area and repair as necessary.
Bathroom		
Page 69 Item: 1	Cabinets	<ul style="list-style-type: none"> • Suspected microbial growth observed under sink at the time of the inspection. Recommend remediation by licensed and insured professional. • Damage to cabinet at the time of the inspection. Recommend qualified professional remediate.
Page 70 Item: 3	GFCI	<ul style="list-style-type: none"> • No GFCI - Electrical outlets in one or more bathroom appeared to be in serviceable condition at the time of the inspection but had no Ground Fault Circuit Interrupter (GFCI) protection. Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider having GFCI protection installed as a safety precaution for outlets within 6 feet of a plumbing fixture.
Page 71 Item: 4	Exhaust Fan	<ul style="list-style-type: none"> • Bathroom fans observed as dirty at the time of the inspection. Recommend cleaning of fan for efficient ventilation. • Bathroom fan observed as excessively noisy at the time of the inspection. Recommend remediation by qualified contractor.
Page 72 Item: 5	Floor Condition	<ul style="list-style-type: none"> • Numerous cracks noted in the bathroom between the floor and baseboards at the time of the inspection. Recommend remediation by qualified contractor to prevent additional moisture intrusion and damage. • Moisture damage and cracking observed to the floor next to shower at the time of the inspection. Multiple areas/appts. Recommend remediation by licensed contractor.
Page 72 Item: 6	Mirrors	<ul style="list-style-type: none"> • The mirror glass is cracked.
Page 73 Item: 7	Showers	<ul style="list-style-type: none"> • Bathroom faucet observed as having a gap at connection point at the time of the inspection. Recommend licensed plumber remediate to prevent further moisture intrusion. • Signs of leaking at shower knobs at the time of the inspection. Recommend remediation by licensed plumber to prevent continued moisture intrusion. • Shower door observed as non functional and damaged at the time of the inspection. Recommend remediation by qualified professional. • Staining observed to shower floor at the time of the inspection. • Shower faucet in bathroom observed as leaking at the time of the inspection. This is defect. Recommend remediation by licensed plumber.

Page 75 Item: 8	Shower Walls	<ul style="list-style-type: none"> • Cracking in caulking observed at the time of the inspection. Recommend cleaning and replacing all cracked caulking to prevent moisture intrusion. Recommend remediation by qualified contractor. • Suspected microbial growth observed in the shower at the time of the inspection. Recommend removal and replacement of all dirty caulking to maintain effective water seal. Recommend qualified professional evaluate and remediate. • Small holes in the shower wall observed at the time of the inspection. Recommend qualified contractor, shower wall penetrations to prevent moisture intrusion. • Failing waterproofing observed on the exterior shower wall at the time of the inspection. Recommend remediation by qualified contractor. • Signs of blistering, damage to shower walls observed at the time of the inspection. Recommend qualified contractor remediate to prevent further deterioration.
Page 77 Item: 9	Sinks	<ul style="list-style-type: none"> • Corrosion at drain connections observed at the time of the inspection. Cast iron drain lines observed in the wall at the time of the inspection. Recommend further review and remediation by licensed and insured plumber regarding corrosion and expected functional life of the cast iron drain lines. • Possible microbial growth observed at the time of the inspection. Recommend further review and remediation by licensed and insured professional. • Sink faucet observed as significantly corroded at the time of the inspection. Recommend licensed and insured plumber for replacement. • Signs of leaking plumbing below the sink at the time of the inspection. Recommend remediation by licensed plumber. • Hole in wall behind sink at the time of the inspection. Recommend remediation by qualified contractor.
Page 79 Item: 10	Toilets	<ul style="list-style-type: none"> • Moisture and possible microbial growth observed around the toilet at the time of the inspection. Recommend further evaluation by a qualified contractor. • Rust observed at toilet connection at the time of the inspection. Recommend remediation by licensed and insured plumber.
Page 79 Item: 11	Window Condition	<ul style="list-style-type: none"> • See "interior window condition"
Page 79 Item: 12	Bathroom walls	<ul style="list-style-type: none"> • Moisture intrusion and deterioration of wood observed next to shower door at the time of the inspection. Recommend sealing all cracks and gaps in and around the shower to prevent moisture and intrusion. • Observed possible microbial growth observed on bathrooms walls and ceilings at the time of the inspection. Recommend further evaluation and remediation by qualified contractor. • Damage to wall above sink observed at the time of the inspection. Recommend remediation by licensed contractor.